



ZIONSVILLE PLAN COMMISSION MEETING RESULTS

Monday, July 20, 2020

7:00 PM (Local Time)

THIS PUBLIC MEETING WAS CONDUCTED PURSUANT TO GOVERNOR ERIC J. HOLCOMB'S EXECUTIVE ORDERS 20-02, 20-04 AND 20-08, 20-26, and 20-30 AND GOVERNOR HOLCOMB'S EXERCISE OF HIS POWERS UNDER INDIANA'S EMERGENCY MANAGEMENT AND DISASTER LAW, IND. CODE 10-14-3, *et seq.* ADDITIONAL INFORMATION REGARDING THE MEETING IS PROVIDED IN THE ANNEX PUBLISHED WITH THIS NOTICE.

1. Members of the public shall have the right to attend Plan Commission Public Meetings via the following forms of electronic communication:

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/83218086117>

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US: +13017158592,,83218086117# or +13126266799,,83218086117#

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or +1 669 900 9128

Webinar ID: 832 1808 6117

International numbers available: <https://us02web.zoom.us/j/83218086117>

Or an H.323/SIP room system:

H.323:

162.255.37.11 (US West)

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115.114.131.7 (India Mumbai)

115.114.115.7 (India Hyderabad)

213.19.144.110 (EMEA)

103.122.166.55 (Australia)

209.9.211.110 (Hong Kong SAR)

64.211.144.160 (Brazil)

69.174.57.160 (Canada)

207.226.132.110 (Japan)

Meeting ID: 832 1808 6117

SIP: 83218086117@zoomcrc.com

The following items are scheduled for consideration:

- I. Pledge of Allegiance
- II. Attendance
- III. Approval of the January 21, 2020 Meeting Memo, April 20, 2020 and June 15, 2020 Plan Commission Meeting Minutes
- IV. Continuance Requests

2020-10-Z	Windhaven	8175 & 8775 W. Oak Street	<p>Petitioner requested a continuance from July 20, 2020 meeting to the August 17, 2020 meeting 7 in Favor 0 Opposed</p> <p><i>Petitioner requested continuance from April 20, 2020 to May 18, 2020</i> <i>Plan Commission continued the project from May 18, 2020 to June 15, 2020</i></p> <p>Petition for Zone Map change to rezone 24.283+/- acres from the Rural (R1) Residential Zoning District to the (PUD) Planned Unit Development Zoning District</p>
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V. Continued Business

Docket Number	Name	Address of Project	Item to be Considered
			None at this time

VI. New Business

Docket Number	Name	Address of Project	Item to be Considered
2020-19-DP	AES Office Building	10440 Bennett Parkway	<p>Development Plan with Waivers Approved as Presented 7 in Favor 0 Opposed</p> <p>Petition for Development Plan Approval of a 12,000± square foot (6,000 square foot footprint) office building on 4.30+/- acres within the Urban Industrial Two Zoning District (I-2 Urban). Waivers of Building Materials and Architectural Design requirements requested.</p>

VII: Other Matters to be considered

Docket Number	Name	Address of Project	Item to be Considered
2018-18-DP	Aria Apartments	799 Lennox Court	Amendment to Landscape Plan Acknowledged by Plan Commission

Please note that a quorum of the Zionsville Town Council may be in attendance at the meeting.

Respectfully Submitted:

Wayne DeLong, AICP, CPM
 Director of Planning and Economic Development

ANNEX TO PUBLIC NOTICE FOR THE JUNE 15, 2020, REGULAR MEETING OF THE ZIONSVILLE PLAN COMMISSION

In his Executive Orders 20-02, 20-04, 20-08, 20-26 AND 20-30 (collectively, the “**Executive Orders**”), Governor Eric J. Holcomb has ordered all political subdivisions of the State of Indiana to limit public gatherings and to implement the Centers for Disease Control and Prevention’s and the Indiana State Department of Health’s recommended virus mitigation strategies. The Executive Orders suspend certain requirements for Essential Governmental Functions that facilitate Essential Infrastructure with respect to public meetings and open door laws, including suspending physical participation requirements by members of public agency governing bodies and permitting public attendance through electronic means of communications. As a political subdivision of the State of Indiana, the Zionsville Plan Commission (the “Plan Commission”) must comply with the Executive Orders throughout the duration of the COVID-19 Public Health Emergency. According, all public meetings of the Plan Commission shall be conducted in the following manner until the end of the COVID-19 Public Health Emergency:

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2. If a member of the public would like to attend a Plan Commission Public Meeting, but cannot utilize any of the access methods described above, please contact Wayne DeLong at 317-873-5108 or wdelong@zionsville-in.gov.
3. The Plan Commission will continually revisit and refine the procedures in this Annex to address public accessibility to Plan Commission Public Meetings during the COVID-19 Public Health Emergency.
4. If you need technical assistance in logging into Zoom for this webinar, please contact: Roger Kilmer, rkilmer@zionsville-in.gov, or 317-690-6539.



**Town of Zionsville
1100 West Oak Street
Zionsville, IN 46077**

TRANSMITTAL

**TO: Town of Zionsville Advisory Plan Commission
FROM: Wayne DeLong - Director of Planning and Economic Development
RE: Materials for consideration for the July 20, 2020 Meeting of
the Plan Commission.**

Enclosed for your information and review are the following:

1. Plan Commission Meeting Agenda
2. Planning Department June 2020 Monthly Report
3. June 15, 2020 Plan Commission Meeting Minutes
4. Docket # 2020-10-Z Windhaven Continuance Request
5. Docket # 2018-18-DP Aria Apartments request to amend Landscaping Plan
6. Petition Applications, Requests, and Information for Review and Consideration

January 21, 2020 Plan Commission Meeting Memo (Minutes) and April 20, 2020 Plan Commission Meeting minutes are forthcoming.



MEETING NOTICE AND AGENDA ZIONSVILLE PLAN COMMISSION

Monday, July 20, 2020

7:00 PM (Local Time)

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Town Of Zionsville

Planning and Economic Development Combined Permit Activity

June 2020

Total permits issued for the month of June: 104

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Permit Activity Breakdown

Commercial Permits	June 2020	June 2019	YTD 2020	YTD 2019	YTD Diff
New	0	3	6	4	2
Interior Remodel	0	0	14	36	-22
Addition	0	0	2	2	0
Sign	1	3	12	30	-18
Electric	2	0	14	5	9
Other	3	2	13	24	-11
Sewer	0	0	0	2	-2
Commercial Totals	6	8	61	103	-42
Residential Permits					
Single Family	21	22	120	106	14
Addition	15	10	67	64	3
Remodel	11	8	56	56	0
Electric	7	4	25	22	3
Pool/Spa	5	3	23	27	-4
Demolition	1	0	8	11	-3
Other	36	22	118	117	1
Sewer/Repairs	2	1	5	14	-9
Residential Totals	98	70	422	417	5
Combined Totals	104	78	483	520	-37

Building/Site Inspections: 430 Number Of Inspections: 669

Certificates Of Occupancy Issued: 62

Easement Encroachments Authorized: 0 Denied: 1

Zoning Code Enforcement Activity

Number of New Zoning Code Investigations: 9

Number of violations that resulted in a violation and/or stop work order: 4

Number of Investigations closed this month: 3

Total number of zoning code violations to date: 13



Town Of Zionsville

Planning and Economic Development Permit Detail

June 2020

Total Combined permits issued for the month of June: 104

CombinedPermit Activity Detail

Page: 1

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Permit #	Permit Month	Permit Day	Sewer Cost	Park Impact Fee	Road Impact Fee	Builder	Owner	Type Of Construction	Subdivision	Lot #	Address	Zip Code
U2020-380	June	1	\$0	\$0	\$0	Keesling Custom Pools & Patios	Mark Romaniuk	Res Add Pool	DEROSSI ESTATES	2	8802 WHITESTOWN ROAD	46077
U2020-381	June	1	\$0	\$0	\$0	Ashpaugh Electric	Kevin & Kimberly Wallien	Res Electric			685 BLOOR LANE	46077
R2020-382	June	1	\$0	\$0	\$0	Corban Properties	Corban Properties	Res Electric	Pine Ridge Mobile Home	10	9669 Pine Ridge South Drive	46077
R2020-383	June	1	\$0	\$0	\$0	Nazareth Building Services	Jacob & Kathleen Krouse	Res Remodel	STONEGATE	91	6717 W STONEGATE DRIVE	46077
U2020-384	June	1	\$0	\$0	\$0	The Masters Mark Builders	Katie & Nick Averitt	Res Remodel	Huntington Woods	40	1289 HUNTINGTON WOODS ROAD	46077
U2020-385	June	1	\$0	\$0	\$0	Robert Stevens Roofing	Keith & Michelle Shepherd	Res Reroof	Rock Bridge	187	3627 MOSSY ROCK DRIVE	46077
19U2020-386	June	1	\$4,025	\$1,221	\$1,009	Neer Development, Inc.	Neer Development Company, Inc.	Res New	Courtyards of Zionsville	56	1740 Cypress Drive	46077
U2020-387	June	1	\$0	\$0	\$0	Samuel Nicholson	Samuel & Sarah Nicholson	Res Add Deck	Colony Woods	155	10 GARDEN POINT	46077
R2020-388	June	1	\$0	\$0	\$0	Project Melton	Michael & Margaret Maroney	Res Add	Royal Run	626	6563 YORKSHIRE CIRCLE	46077
U2020-389	June	1	\$0	\$0	\$0	Stay Dry Roofing	Mickey & Jennifer O'Rourke	Res Reroof	Spring Knoll	34	9693 GREENTHREAD DRIVE	46077
U2020-390	June	1	\$0	\$0	\$0	Barns of Indiana	Earl & Bonnie Merkel	Res Add	Zion Hills	28	12264 DAUGHERTY DRIVE	46077
R2020-391	June	3	\$0	\$0	\$0	Adams Electric	Casey & Tracey Wasem	Res Electric			645 SYCAMORE COURT	46077
R2020-392	June	3	\$0	\$0	\$0	Project Melton	Craig Melton	Res Other		624	6559 YORKSHIRE CIRCLE	46077
U2020-393	June	3	\$0	\$0	\$0	Booher Building Company	Reid & Abigail Klaehn	Res Remodel	Linaburry's Valley	2, 3	640 VALLEY VIEW DRIVE	46077
13U2020-394	June	3	\$0	\$0	\$0	Richard Lamb	Richard & Carol Lamb	Res Demo			11301 E 300 SOUTH	46077
19U2020-395	June	3	\$0	\$0	\$0	WarrenCo Construction & Paving	Indira & Sean Bhavsar	Res Other	Vonterra	101	5908 WELDRA DRIVE	46077
R2020-396	June	3	\$0	\$0	\$0	Johnson & Johnson Renovating and	Jacob & Amberly Davis	Res Remodel			7055 S STATE ROAD 267	46052
U2020-397	June	3	\$0	\$0	\$0	Green Custom Framing	John & Laura Noel	Res Add	Sugarbush Hill	68	687 MORNINGSIDE COURT	46077



Town Of Zionsville

Planning and Economic Development Permit Detail

June 2020

Total Combined permits issued for the month of June: 104

CombinedPermit Activity Detail

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R2020-398	June	3	\$0	\$0	\$0	Nelson's Improvements	Russell Lake LLC	Res Reroof	Russell Lake	13	664 RUSSELL LAKE EAST DRIVE	46077
U2020-399	June	3	\$0	\$0	\$0	Deaton's Mechanical	FORD CENTRE ASSOCIATES	Comm Other	Ford Center	Domino's Pizza	1466 W OAK STREET	46077
R2020-400	June	4	\$0	\$0	\$0	Chuck's Construction	Patrick Hart	Res Add Deck	Fishback Creek	12	6875 E 525 SOUTH	46075
R2020-401	June	4	\$0	\$0	\$0	Robert King	Robert King	Res Reroof			8280 E 200 SOUTH	46077
U2020-402	June	4	\$0	\$0	\$0	Cochran Exteriors	JOHN A & DAWN L FIRMANI	Res Reroof	Cobblestone Lakes	92	4876 PEBBLEPOINTE PASS	46077
R2020-403	June	4	\$0	\$0	\$0	Cochran Exteriors	CHRISTOPHER A & MELISSA A RENT	Res Reroof	STONEGATE	21	6734 JONS STATION	46077
19U2020-404	June	4	\$4,025	\$1,221	\$1,009	Lennar	Lennar	Res New	Vonterra	79	10277 PIGATO DRIVE	46077
U2020-405	June	4	\$4,025	\$1,221	\$1,009	Nazareth Building Services	KERRY & PAMELA Wagoner	Res New			4501 S 975 EAST	46077
R2020-406	June	5	\$0	\$0	\$0	Brian S Hill Contracting LLC	SAMUEL & MELISSA POLLAUFG	Res Add Deck			8218 E 550 SOUTH	46077
19U2020-407	June	5	\$0	\$0	\$0	Aspen Outdoor Designs, Inc	Christofer & Lynn Cunningham	Res Add Deck	Brookhaven	194	11149 GLEN AVON WAY	46077
U2020-408	June	5	\$0	\$0	\$0	Mister Quik	John & Michelle DeMarco	Res Electric	Thornhill	56	643 SILVER WRAITH COURT	46077
U2020-409	June	5	\$0	\$0	\$0	Robert Stevens Roofing	Benjamin & Rhonda Adams	Res Reroof	Rock Bridge	114	4347 LEDGE ROCK COURT	46077
U2020-410	June	5	\$0	\$0	\$0	Elliott King	Elliott & Jane King	Res Other	Cedar Bend	45	10140 LAKEWOOD DRIVE	46077
U2020-411	June	5	\$0	\$0	\$0	Elliott King	Elliott & Jane King	Res Other	Cedar Bend	45	10140 LAKEWOOD DRIVE	46077
13U2020-412	June	8	\$0	\$1,221	\$1,009	Pulte Homes	Pulte Homes	Res New	HIDDEN PINES	63	3843 SUGAR PINE LANE	46077
U2020-413	June	8	\$4,025	\$1,221	\$1,009	Beazer Homes Indiana LLP	Beazer Homes Indiana LLP	Res New	Hampshire	322	3980 Rainford Ave	46077
13U2020-414	June	8	\$0	\$0	\$0	Chuck's Construction	Brad Gilchrist	Res Add	HIDDEN PINES	67	3947 SUGAR PINE LANE	46077
U2020-415	June	9	\$0	\$0	\$0	Lennar	Lennar	Mass Grading	Hampshire		4751 S 800 EAST	46077



Town Of Zionsville

Planning and Economic Development Permit Detail

June 2020

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CombinedPermit Activity Detail

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19U2020-416	June	9	\$4,025	\$1,221	\$1,009	Lennar	Lennar	Res New	Vonterra	89	6021 GODELLO CIRCLE	46077
19U2020-417	June	9	\$4,025	\$1,221	\$1,009	Lennar	Lennar	Res New	Vonterra	90	6013 GODELLO CIRCLE	46077
19U2020-418	June	9	\$4,025	\$1,221	\$1,009	Lennar	Lennar	Res New	Vonterra	91	6001 GODELLO CIRCLE	46077
U2020-419	June	9	\$0	\$0	\$0	Matthew Cope	Matthew & Janice Cope	Res Other	Cobblestone Lakes	234	8805 WINDPOINTE PASS	46077
R2020-420	June	9	\$0	\$0	\$0	Calzada Concrete LLC	Kacie Symes & Kelly Rota	Res Other	Royal Run	341	6260 CANTERBURY DRIVE	46077
R2020-421	June	9	\$0	\$0	\$0	TPI Utility Construction LLC	Tim & Penelope Wallis	Comm Electric	HOLLIDAY FARMS	A22	10575 HOLLIDAY FARMS BLVD	46077
U2020-422	June	9	\$0	\$0	\$0	Finney & Sons	Marianne Walter	Res Reroof	Raintree	75	740 ROUND COURT	46077
U2020-423	June	9	\$0	\$0	\$0	AJS Construction	Patrice Thomas	Res Reroof	Laughlin, Fours, Har	2	625 W LAUREL AVE	46077
U2020-424	June	9	\$7,585	\$1,221	\$1,009	Pulte Homes	Pulte Homes	Res New	ASHBURN	9	5220 ROSE DRIVE	46077
19U2020-425	June	9	\$4,025	\$1,221	\$1,009	Lennar	Lennar	Res New	Vonterra	78	10283 PIGATO DRIVE	46077
19U2020-426	June	9	\$4,025	\$1,221	\$1,009	Lennar	Lennar	Res New	Vonterra	88	6029 GODELLO CIRCLE	46077
13U2020-427	June	10	\$0	\$0	\$0	Hittle Construction	Gary & Abigail Rom	Res Add Deck	THE WILLOWS	30	3268 WILDLIFE TRAIL	46077
U2020-428	June	10	\$0	\$0	\$0	RMG Roofing	Daniel & Kim Stratton	Res Reroof	Spring Knoll	356	8843 SHELBURNE WAY	46077
19U2020-429	June	10	\$0	\$0	\$0	Alfredo Rojas	David & Anna Banas	Res Reroof	Fieldstone	47	2506 FAWN BLUFF COURT	46077
R2020-430	June	11	\$0	\$0	\$0	Chad Wetherbee	Molly Wetherbee	Res Other	Royal Run	66	6781 WOODCLIFF CIRCLE	46077
U2020-431	June	11	\$0	\$0	\$0	Custom Living	Ryne & Stephanie Fanning	Res Remodel	Sugarbush Hill	76	682 MORNINGSIDE DRIVE	46077
U2020-432	June	11	\$0	\$0	\$0	Marchis Fireworks, LLC	Oak Center LLC	Comm Sign			1229 W Oak Street	46077
U2020-433	June	12	\$0	\$0	\$0	Innovative Homes & Remodeling	MATTHEW LOHMEYER	Res Remodel			880 STARKEY ROAD	46077



Town Of Zionsville

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U2020-434	June	12	\$0	\$0	\$0	Deater Brothers	Christopher & Candace Hons	Res Add Deck	Rock Bridge	196	3532 OLD QUARRY DRIVE	46077
U2020-435	June	12	\$0	\$0	\$0	ABC Roofing	Craig & Patricia MacFarlane	Res Reroof	Cobblestone Lakes	39	5111 PEBBLEPOINTE PASS	46077
R2020-436	June	12	\$0	\$0	\$0	Cochran Exteriors	Larry & Kathryn Cassidy	Res Reroof	Stonegate	10	7653 CARRIAGE HOUSE WAY	46077
U2020-437	June	12	\$0	\$0	\$0	Bone-Dry Roofing	James & Janice Vangorder	Res Reroof	Spring Knoll	351	4219 HONEYSUCKLE LANE	46077
U2020-438	June	15	\$0	\$0	\$0	Bankert Boys Unlimited	Eric & Amy Essley	Res Reroof	Colony Woods	270	170 SCRANTON COURT	46077
U2020-439	June	15	\$4,025	\$1,221	\$1,009	Beazer Homes Indiana LLP	Beazer Homes Indiana LLP	Res New	Hampshire	312	8060 Shaldon Court	46077
R2020-440	June	15	\$0	\$0	\$0	Bone-Dry Roofing	Matthew Rogge	Res Reroof	Russell Lake	32	659 RUSSELL LAKE E DRIVE	46077
U2020-441	June	17	\$0	\$0	\$0	Mr Plumber	Evan & Paula Ragar	Res Sewer	Schick's Add	45-48	850 W PLUM STREET	46077
13U2020-442	June	17	\$0	\$0	\$0	Ronald Malone	Ronald & Jennifer Malone	Res Reroof	The Willows	239	11512 GOLDEN WILLOW COURT	46077
19U2020-443	June	18	\$0	\$0	\$0	Bone-Dry Roofing	Troy & Kathryn Goodman	Res Reroof	Brookhaven	66	2829 E HIGH GROVE CIRCLE	46077
R2020-444	June	18	\$0	\$0	\$0	Cochran Exteriors	Daniel O'Sullivan	Res Reroof	Stonegate	7	6100 STONEGATE RUN	46077
U2020-445	June	22	\$0	\$0	\$0	American Dream Home Improvement	Robert & Michele Pederson	Res Reroof	Rock Bridge	71	3950 STONINGTON PLACE	46077
U2020-446	June	22	\$0	\$0	\$0	WarrenCo Construction & Paving	Jeffrey & Kathryn Curiel	Res Other	Colony Woods	243	180 GOVERNORS LANE	46077
R2020-447	June	22	\$0	\$0	\$0	Amos Exteriors	James & Jennifer Hyslop	Res Reroof			6102 EAGLEWOOD DRIVE	46077
U2020-448	June	23	\$0	\$0	\$0	Bankert Boys Unlimited	Larry & Marilyn Essley	Res Reroof	Colony Woods	231	255 CAMDEN DRIVE	46077
U2020-449	June	23	\$4,025	\$1,221	\$1,009	Lennar	Lennar	Res New	Hampshire	200	4375 FORRES AVE	46077
U2020-450	June	23	\$7,585	\$1,221	\$1,009	Pulte Homes	Pulte Homes	Res New	ASHBURN	13	5233 ROSE DRIVE	46077
U2020-451	June	23	\$0	\$0	\$0	Todd Rottman	Todd & Sherry Rottman	Res Add Pool	CROSSES	5	320 W HAWTHORNE STREET	46077



Town Of Zionsville

Planning and Economic Development Permit Detail

June 2020

Total Combined permits issued for the month of June: 104

Combined Permit Activity Detail

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Permit #	Permit Month	Permit Day	Sewer Cost	Park Impact Fee	Road Impact Fee	Builder	Owner	Type Of Construction	Subdivision	Lot #	Address	Zip Code
R2020-452	June	23	\$0	\$0	\$0	Jorge & Associate Construction LLC	Charles Gough	Res Remodel	Timberwolf	11	9301 TUNDRA DRIVE	46077
R2020-453	June	23	\$0	\$0	\$0	Christopher & Jessica Clevenger	Christopher & Jessica Clevenger	Res Finish Permit			10888 E SR 32	46077
R2020-454	June	24	\$0	\$0	\$0	Quality Concrete & Landscaping	Bryan Chan	Res Other	Royal Run	358	6271 LANCASTER PLACE	46077
13U2020-455	June	24	\$0	\$0	\$0	Tom Eddington	Chintan Prajapati	Res Remodel	HIDDEN PINES	137	3874 EVERGREEN WAY	46077
U2020-456	June	24	\$0	\$0	\$0	Land Development & Building LLC	Inglenook Zionsville LLC	Res New	Inglenook of Zionsville	34	10480 ST ANNE DRIVE	46077
19U2020-457	June	24	\$0	\$0	\$0	Community Exteriors, Inc.	Jose & Alicia Almodovar	Res Reroof	Brookhaven	142	2793 W HIGH GROVE CIRCLE	46077
U2020-458	June	24	\$4,025	\$1,221	\$1,009	Beazer Homes Indiana LLP	Beazer Homes Indiana LLP	Res New	Hampshire	282	8294 PEGGY COURT	46077
R2020-459	June	25	\$0	\$0	\$0	Pat Pierle Electrical Service, Inc.	Pat Duncan	Comm Electric	Stonegate	COMMON PROPERTY	6521 Regents Park Circle	46077
19U2020-460	June	25	\$0	\$0	\$0	Pools of Fun	Frank & Jean Casolaro	Res Add Pool	Brookhaven	222	2502 BROOKHAVEN COURT	46077
U2020-461	June	25	\$0	\$0	\$0	Augusta Underground	Sharon Bennett	Res Sewer			4902 WILLOW ROAD	46077
R2020-462	June	26	\$0	\$0	\$0	Project Melton	Craig & Jennifer Melton	Res Reroof	Royal Run	624	6559 YORKSHIRE CIRCLE	46077
U2020-463	June	26	\$4,025	\$1,221	\$1,009	Beazer Homes Indiana LLP	Beazer Homes Indiana LLP	Res New	Hampshire	321	3970 Rainford Ave	46077
13U2020-464	June	29	\$0	\$0	\$0	Cutting Edge Hardscapes	Drue & Danielle Anderson	Res Other	The Willows	218	11631 WILLOW SPRINGS DRIVE	46077
R2020-465	June	29	\$0	\$0	\$0	John Bymaster	John Bymaster	Res Add			6675 S 425 EAST	46052
19U2020-466	June	29	\$0	\$0	\$0	Blue Line Construction	Donald & Lisa Richards	Res Remodel	Vonterra	10	10303 LEMBERGER BLVD	46077
U2020-467	June	29	\$0	\$0	\$0	Lennar	Lennar	Res New	Hampshire	203	4317 FORRES AVE	46077
2020-468	June	29	\$0	\$0	\$0	Booher Building Company	Andrew & Amy Smithka	Res Remodel	Stonegate	48	7671 ST LAWRENCE COURT	46077
13U2020-469	June	29	\$0	\$0	\$0	Neil Merrell	Neil & Shannon Merrell	Res Add	The Willows	169	3262 SUNRISE COURT	46077



Town Of Zionsville

Planning and Economic Development Permit Detail

June 2020

Total Combined permits issued for the month of June: 104

Combined Permit Activity Detail

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Permit #	Permit Month	Permit Day	Sewer Cost	Park Impact Fee	Road Impact Fee	Builder	Owner	Type Of Construction	Subdivision	Lot #	Address	Zip Code
U2020-470	June	30	\$0	\$0	\$0	Dillon Wyatt	Danielle & Dillon Wyatt	Res Add Deck	Hampshire	177	4442 OAKLEY TERRACE	46077
U2020-471	June	30	\$0	\$0	\$0	Eads Roofing, LLC	RICHARD SOWINSKI	Res Reroof	PRESERVE AT SPRING KNOLL	24	8860 PIN OAK DRIVE	46077
R2020-472	June	30	\$0	\$0	\$0	Christopher Scott Homes	Courtney & Aubrey Lehman	Res New	THE CLUB AT HOLLIDAY	E9	10622 CHALLIS MILL COURT	46077
U2020-473	June	30	\$0	\$0	\$0	John Pataky	John & Vicky Pataky	Res Add	SCHICKS	48,49,50,51	295 SOUTH 9TH STREET	46077
U2020-474	June	30	\$0	\$0	\$0	Huston Electric	Scott & Tracy Phillips	Res Electric			11740 SYCAMORE STREET	46077
U2020-475	June	30	\$0	\$0	\$0	Alt Construction	SOUTH VILLAGE STATION LLC	Comm Demo			10615 ZIONSVILLE ROAD	46077
19U2020-476	June	30	\$0	\$0	\$0	Dowdy Electric Con.	Jeffrey Corydon	Res Electric	Brookhaven	98	2718 BENMORE COURT	46077
U2020-477	June	30	\$0	\$0	\$0	Shaffer Electric Company	SHAFFER PROPERTIES LLC	Res Electric	CARTERS ADD.	13	200 N 8TH STREET	46077
U2020-478	June	30	\$0	\$0	\$0	Aspen Outdoor Designs, Inc	SHAWN & M MAKENZIE GREVE	Res Add	SIXTH & SYCAMORE	2	596 Starkey Road	46077
U2020-479	June	30	\$0	\$0	\$0	Pulte Homes	Pulte Homes	Res New	ASHBURN	35	8594 VERBENA ROAD	46077
R2020-480	June	30	\$0	\$0	\$0	Christopher Scott Investments	Joseph & Carrie Bright	Res New	THE CLUB AT HOLLIDAY	D8	3717 OLDE WELL RUN	46077
U2020-481	June	30	\$0	\$0	\$0	Collins Premier Renovation	Greg Albers	Res Remodel	Thornhill	10	300 BENTLEY DRIVE	46077
U2020-482	June	30	\$0	\$0	\$0	Perma Pools	Daniel & Julie Chadwick	Res Add Pool	Cobblestone Lakes	228	8870 SUGAR CAY COURT	46077
U2020-483	June	30	\$0	\$0	\$0	Pools of Fun	Justin & Amanda Brown	Res Add Pool	Sugarbush	79	712 MORNINGSIDE DRIVE	46077



Town Of Zionsville

Planning and Economic Development C of O Detail

June 2020

Total: C of O issued for the month of June: 62

C of O Detail

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Permit #	Builder	Owner	Type Of Construction	Subdivision	Lot#	Address	Zip Code	C of O Approved
U2019-325	Adam Braun	Steven Braun	Res New	Schick's Add	39, 40	805 W PINE STREET	46077	2020/06/19
R2019-338	Ely Garcia	ELY & NA GARCIA	Res Other	Stonegate	245	6688 CHAPEL CROSSING	46077	2020/06/10
U2019-386	Fischer Homes	Fischer Homes	Res New	Hampshire	108	4581 KETTERING PLACE	46077	2020/06/17
19U2019-419	Lennar	Lennar	Res New	Vonterra	73	5925 WELDRA DRIVE	46077	2020/06/09
19U2019-419	Lennar	Lennar	Res New	Vonterra	73	5925 WELDRA DRIVE	46077	2020/06/23
19U2019-421	Lennar	Lennar	Res New	Vonterra	93	5855 WELDRA DRIVE	46077	2020/06/09
19U2019-421	Lennar	Lennar	Res New	Vonterra	93	5855 WELDRA DRIVE	46077	2020/06/23
13U2019-428	Pulte Homes	Pulte Homes	Res New	HIDDEN PINES	135	3822 EVERGREEN WAY	46077	2020/06/09
13U2019-450	Pulte Homes	Pulte Homes	Res New	HIDDEN PINES	88	3477 CONIFER DRIVE	46077	2020/06/26
19U2019-523	Lennar	Lennar	Res New	Vonterra	69	10262 RIESLANER CIRCLE	46077	2020/06/23
R2019-539	T & M Log Homes, LLC	Tyler & Janelle Koschnick	Res New			10823 E 200 NORTH	46077	2020/06/18
19U2019-547	Lennar	Lennar	Res New	Vonterra	4	10308 LEMBERGER BLVD	46077	2020/06/23
19U2019-548	Lennar	Lennar	Res New	Vonterra	5	10304 LEMBERGER BLVD	46077	2020/06/23
13U2019-575	The Smart Pergola	Michael & Rachel Thieken	Res Other	Willow Ridge	31	11538 WILLOW SPRINGS DRIVE	46077	2020/06/22
19U2019-653	Lennar	Lennar	Res New	Vonterra	70	5897 WELDRA DRIVE	46077	2020/06/23
19U2019-676	Lennar	Lennar	Res New	Vonterra	66	10257 RIESLANER CIRCLE	46077	2020/06/23



Town Of Zionsville

Planning and Economic Development C of O Detail

June 2020

Total: C of O issued for the month of June: 62

C of O Detail

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Permit #	Builder	Owner	Type Of Construction	Subdivision	Lot#	Address	Zip Code	C of O Approved
19U2019-677	Lennar	Lennar	Res New	Vonterra	72	5915 WELDRA DRIVE	46077	2020/06/23
U2019-717	Cityscape Construction - Aria,	Aria Zionsville, LLC	Comm New	ARIA	Garage 4	11067 Octave Drive	46077	2020/06/23
U2019-718	Cityscape Construction - Aria,	Aria Zionsville, LLC	Comm New	ARIA	Garage 6	10961 Opus Drive	46077	2020/06/23
U2019-740	Land Development & Building LLC	Land Development and Building LLC	Res New	Inglenook of Zionsville	3	5706 INGLENOOK WAY	46077	2020/06/22
19U2019-752	Lennar	Lennar	Res New	Vonterra	55	10294 PIGATO DRIVE	46077	2020/06/23
19U2019-758	Lennar	Lennar	Res New	Vonterra	76	5943 WELDRA DRIVE	46077	2020/06/23
U2019-759	Estridge Homes	Kickapoo Investments LLC	Res New	Oxford Woods	8	11700 WALTON CRES	46077	2020/06/26
19U2019-798	Perma Pools	BAIN, MATT & CARRIE	Res Add Pool	THE ENCLAVE	28	6841 WOODHAVEN PLACE	46077	2020/06/03
U2019-805	Fredericks Inc Contractors	Town of Zionsville	Comm New		Maintenance Building	855 STARKEY ROAD	46077	2020/06/12
R2019-832	Timothy Gatewood	Timothy & Lois Jean Gateway	Res New	Stonegate	356	6631 E DEERFIELD COURT	46077	2020/06/30
U2019-839	Beazer Homes Indiana LLP	Beazer Homes Indiana LLP	Res New	Hampshire	265	8241 CARNEGIE LANE	46077	2020/06/24
U2019-840	Beazer Homes Indiana LLP	Beazer Homes Indiana LLP	Res New	Hampshire	263	8213 CARNEGIE LANE	46077	2020/06/15
19U2019-870	Lennar	Lennar	Res New	Vonterra	71	5909 WELDRA DRIVE	46077	2020/06/23
19U2019-871	Lennar	Lennar	Res New	Vonterra	65	10259 RIESLANER CIRCLE	46077	2020/06/23
19U2019-916	Lennar	Lennar	Res New	Vonterra	67	10255 RIESLANER CIRCLE	46077	2020/06/23
U2019-927	Andrew Park	Andrew & Brooke Park	Res Remodel	Hampshire	89	4813 ABERDEEN DRIVE	46077	2020/06/10



Town Of Zionsville

Planning and Economic Development C of O Detail

June 2020

Total: C of O issued for the month of June: 62

C of O Detail

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Permit #	Builder	Owner	Type Of Construction	Subdivision	Lot#	Address	Zip Code	C of O Approved
19U2019-943	Lennar	Lennar	Res New	Vonterra	3	10312 LEMBERGER BLVD	46077	2020/06/23
R2019-982	Dale Davis	Dale & Faye Peter	Res Finish Permit			7005 S 475 EAST	46052	2020/06/05
19U2019-985	Neer Development	Neer Development Company, Inc.	Res New	Courtyards of Zionsville	52	1712 Cypress Drive	46077	2020/06/05
U2019-988	Beazer Homes Indiana LLP	Beazer Homes Indiana LLP	Res New	Hampshire	254	8238 CARNEGIE LANE	46077	2020/06/04
R2019-1002	Hamilton Homes	Marcus Tielker	Res Finish Permit	Lexington Hall	6	7759 BECK LANE	46077	2020/06/25
U2019-1019	Lennar	Lennar	Res New	Hampshire	216	4315 KETTERING DRIVE	46077	2020/06/15
U2019-1022	Beazer Homes Indiana LLP	Beazer Homes Indiana LLP	Res New	Hampshire	279	8338 PEGGY COURT	46077	2020/06/03
R2019-1026	BP Custom Homes	David & Laurie Roe	Res Add	Timberwolf	3	9198 TIMBERWOLF LANE	46077	2020/06/23
U2020-2	Lennar	Lennar	Res New	Hampshire	184	4336 FORRES AVENUE	46077	2020/06/10
U2020-3	Lennar	Lennar	Res New	Hampshire	183	4362 FORRES AVENUE	46077	2020/06/01
U2020-16	Beazer Homes Indiana LLP	Beazer Homes Indiana LLP	Res New	Hampshire	278	8354 PEGGY COURT	46077	2020/06/15
19U2020-35	Custom Home Medic	Jeff Corydon	Res Remodel	Brookhaven	98	2718 Benmore Court	46077	2020/06/22
U2020-37	Fischer Homes	Fischer Homes	Res New	Hampshire	123	4692 KETTERING PLACE	46077	2020/06/17
U2020-45	Beazer Homes Indiana LLP	Beazer Homes Indiana LLP	Res New	Hampshire	266	8255 Carnegie Lane	46077	2020/06/25
U2020-72	Fairchild Services	GREGORY STAYTE	Res Remodel			450 W HAWTHORNE STREET	46077	2020/06/10
U2020-75	Beazer Homes Indiana LLP	Beazer Homes Indiana LLP	Res New	Hampshire	273	8345 Peggy Court	46077	2020/06/12



Town Of Zionsville

Planning and Economic Development C of O Detail

June 2020

Total: C of O issued for the month of June: 62

C of O Detail

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Permit #	Builder	Owner	Type Of Construction	Subdivision	Lot#	Address	Zip Code	C of O Approved
13U2020-79	Pulte Homes	Pulte Homes	Res New	HIDDEN PINES	98	3720 Conifer Drive	46077	2020/06/22
13U2020-80	Pulte Homes	Pulte Homes	Res New	HIDDEN PINES	44	11453 Foxtail Court	46077	2020/06/26
U2020-97	TSW Construction	PAUL S & STEPHANIE L	Res Add Deck	COLONY WOODS	220	1275 GOVERNORS LANE	46077	2020/06/05
R2020-127	Perma Pools	PAUL W & SANDRA U BORTH	Res Add Pool			8125 E 300 SOUTH	46077	2020/06/30
U2020-140	Schrier Contracting	Scott & Elizabeth Benedict	Res Remodel	PRESERVE AT SPRING KNOLL	2	8936 SHELBURNE WAY	46077	2020/06/12
U2020-158	Lawn Landscape Company	Samir Patel	Res Other	Hampshire	107	4613 KETTERING PLACE	46077	2020/06/10
U2020-192	Perma Pools	Michael & Natalie Ranjbar	Res Add Pool	Oak Ridge	91	10415 OAK RIDGE DRIVE	46077	2020/06/30
U2020-246	Chuck's Construction	Alexander & Katie Orłowski	Res Add	Cobblestone Lakes	251	8995 SNOWBERRY COURT	46077	2020/06/05
U2020-332	BGW Construction, LLC	Stephen & Lydia Dalton	Res Add Deck	Brittany Chase	121	4460 FULLCRY CIRCLE	46077	2020/06/26
13U2020-335	Chuck's Construction	Alex & Jodi Mereish	Res Add Deck	HIDDEN PINES	120	3637 EVERGREEN WAY	46077	2020/06/12
R2020-343	Indy Decorative Concrete	Joseph & Mindy Murdock	Res Other	Royal Run	360	6267 LANCASTER PLACE	46077	2020/06/24
U2020-377	Pulte Homes	Pulte Homes	Res New	ASHBURN	8	5206 ROSE DRIVE	46077	2020/06/24
R2020-400	Chuck's Construction	Patrick Hart	Res Add Deck	Fishback Creek	12	6875 E 525 SOUTH	46075	2020/06/30
13U2020-427	Hittle Construction	Gary & Abigail Rom	Res Add Deck	THE WILLOWS	30	3268 WILDLIFE TRAIL	46077	2020/06/25



Town Of Zionsville

Planning and Economic Development Permit Activity

Year: 2020

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Activity Report

	Commercial/Industrial						Residential								Sewer Reporting		Summary Of Field Activity					
	New Building	Add	Remodel	Sign	Elec	Other	New Home	Add	Remodel	Electric	Pool	Demolition	Other	New Res Sewer Or Repair Permits	New Comm Sewer Or Repair	Total New Permits	New Comm Sewer (Informational Reporting Only)	New Home Res Sewer (Informational Reporting Only)	Building Inspects Site Visits	Number Of Inspections Per Site Visit	Temp C of O	C of O
January	1	0	4	2	2	2	26	6	6	5	2	2	9	1	0	68	1	25	321	495	16	20
February	0	0	3	3	3	1	15	5	11	1	0	0	7	0	0	49	0	10	282	426	12	26
March	4	0	1	1	1	5	35	14	11	3	6	1	12	0	0	94	1	29	291	474	19	24
April	0	2	5	3	5	0	6	9	7	3	4	1	15	0	0	60	1	6	342	507	14	44
May	1	0	1	2	1	2	17	18	10	6	6	3	39	2	0	108	0	13	344	546	65	31
June	0	0	0	1	2	3	21	15	11	7	5	1	36	2	0	104	0	15	430	669	17	62
July																						
August																						
September																						
October																						
November																						
December																						
Totals	6	2	14	12	14	13	120	67	56	25	23	8	118	5	0	483	3	98	2010	3117	143	207



MEETING RESULTS- ZIONSVILLE BOARD OF ZONING APPEALS JUNE 3, 2020, 6:30 p.m. (Local Time)

MEETING WAS FACILITATED BY REMOTE ATTENDANCE - NO IN PERSON PARTICIPATION BY THE BOARD OF ZONING APPEALS OR THE PUBLIC OCCURED

The following items were scheduled for consideration:

- I. Approval of the May 6, 2020 Meeting Minutes – **approved 4-0 as written**
- II. Continued Business

Docket Number	Name	Address of Project	Item to be considered
2020-10-DSV	A. Nester	720 W Pine Street	Withdrawn by Petitioner – Approved by Board after approving a waiver of the Rules of Procedure to allow consideration of the withdraw request (as withdrawing the petition once testimony occurs is not permissible) - 4 in Favor, 0 Opposed Continued by Board from May 6, 2020 to June 3, 2020 Meeting Petition for Development Standards Variance in order to provide for the addition of a carport to a Single-Family Home which: <ul style="list-style-type: none"> 1) Deviates from the required side yard setback and 2) Deviates from the required rear yard setback in the Urban Residential Village Zoning District (R-V).

- III. New Business

Docket Number	Name	Address of Project	Item to be considered
2020-11-DSV	S. Greve	596 Starkey Road	Approved as presented & filed w/exhibit dated 5/29/20 with conditions – 4 in Favor, 0 Opposed Petition for Development Standards Variance in order to provide for the addition of an outdoor living space to a Single-Family Home which: <ul style="list-style-type: none"> 1) Deviates from the required side & aggregate yard setbacks and 2) Exceeds the required lot coverage of 35%, to 38% in the Urban Residential Village Zoning District (R-V).

2020-13-DSV	M. Lohmeyer	880 Starkey Road	Approved as presented & filed w/exhibits & per staff report – 4 in Favor, 0 Opposed Petition for Development Standards Variance in order to provide for an addition to a Single-Family Home which: <ol style="list-style-type: none">1) Deviates from the required side yard setback (new improvement)2) Deviates from the required aggregate side yard setbacks (memorializing existing improvement) in the Urban Open Land Zoning District (OL).
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Respectfully Submitted:
Wayne DeLong AICP, CPM
Town of Zionsville
Director of Planning and Economic Development



MEETING NOTICE AND AGENDA ZIONSVILLE PLAN COMMISSION
Monday, June 15, 2020
7:00 PM (Local Time)

THIS PUBLIC MEETING WAS CONDUCTED PURSUANT TO GOVERNOR ERIC J. HOLCOMB'S EXECUTIVE ORDERS 20-02, 20-04 AND 20-08, 20-26, and 20-30 AND GOVERNOR HOLCOMB'S EXERCISE OF HIS POWERS UNDER INDIANA'S EMERGENCY MANAGEMENT AND DISASTER LAW, IND. CODE 10-14-3, *et seq.* ADDITIONAL INFORMATION REGARDING THE MEETING IS PROVIDED IN THE ANNEX PUBLISHED WITH THIS NOTICE.

1. Members of the public shall have the right to attend Plan Commission Public Meetings via the following forms of electronic communication (please click here to join the Webinar):

<https://us02web.zoom.us/j/82142629446>

Or iPhone one-tap :

US: +13017158592,,82142629446# or +13126266799,,82142629446#

Or Telephone:

Dial(for higher quality, dial a number based on your current location):

US: +1 301 715 8592 or +1 312 626 6799 or +1 646 558 8656 or +1 253 215 8782 or +1 346 248 7799 or +1 669 900 9128

Webinar ID: 821 4262 9446

International numbers available: <https://us02web.zoom.us/j/ku6dwyp6U>

The following items are scheduled for consideration:

I. Continued Business

Docket Number	Name	Address of Project	Item to be Considered
2020-08-Z	Prologis	5190 S. State Road 267 Lebanon, IN 46052	Received a Favorable Recommendation to the Town Council 6 in Favor 0 Opposed Petition for Zone Map change to rezone 76 +/- acres from the Rural (AG) Agricultural Zoning District to the Rural (I1) Industry Zoning District
2020-10-Z	Windhaven	8175 & 8775 W. Oak Street	Petitioner request to continue from the June 15, 2020 Plan Commission Meeting to the July 20, 2020 meeting 6 in Favor 0 Opposed Petition for Zone Map change to rezone 24.283+/- acres from the Rural (R1) Residential Zoning District to the (PUD) Planned Unit Development Zoning District

VI. New Business

Docket Number	Name	Address of Project	Item to be Considered
2020-17-MP	North Minor Plat	8653 E. 125 South	Approved as presented 6 in Favor 0 Opposed Petition for Minor Plat approval for the establishment of 2 lots with a waiver request from Section 193.056 (B) (4) (Water Facilities) of the Subdivision Control Ordinance in the R2 Rural Residential Zoning District

VII: Other Matters to be considered

Docket Number	Name	Address of Project	Item to be Considered
			None at this time

Please note that a quorum of the Zionsville Town Council may be in attendance at the meeting.

Respectfully Submitted:

Wayne DeLong, AICP, CPM
Director of Planning and Economic Development

June 16, 2020

ANNEX TO PUBLIC NOTICE FOR THE JUNE 15, 2020, REGULAR MEETING OF THE ZIONSVILLE PLAN COMMISSION

In his Executive Orders 20-02, 20-04, 20-08, 20-26 AND 20-30 (collectively, the “**Executive Orders**”), Governor Eric J. Holcomb has ordered all political subdivisions of the State of Indiana to limit public gatherings and to implement the Centers for Disease Control and Prevention’s and the Indiana State Department of Health’s recommended virus mitigation strategies. The Executive Orders suspend certain requirements for Essential Governmental Functions that facilitate Essential Infrastructure with respect to public meetings and open door laws, including suspending physical participation requirements by members of public agency governing bodies and permitting public attendance through electronic means of communications. As a political subdivision of the State of Indiana, the Zionsville Plan Commission (the “Plan Commission”) must comply with the Executive Orders throughout the duration of the COVID-19 Public Health Emergency. According, all public meetings of the Plan Commission shall be conducted in the following manner until the end of the COVID-19 Public Health Emergency:

1. Members of the public shall have the right to attend Plan Commission Public Meetings via the following forms of electronic communication:

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/82142629446>

Or iPhone one-tap :

US: +13017158592,,82142629446# or +13126266799,,82142629446#

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Webinar ID: 821 4262 9446

International numbers available: <https://us02web.zoom.us/j/ku6dwyp6U>

2. Members of the public shall have the option of recording their attendance at Plan Commission Public Meetings via electronic roll call at the start of the meeting or via e-mail at wdelong@zionsville-in.gov.
3. If a member of the public would like to attend a Plan Commission Public Meeting, but cannot utilize any of the access methods described above, please contact Wayne DeLong at 317-873-5108 or wdelong@zionsville-in.gov.
4. The Plan Commission will continually revisit and refine the procedures in this Annex to address public accessibility to Plan Commission Public Meetings during the COVID-19 Public Health Emergency.
5. If you need technical assistance in logging into Zoom for this webinar, please contact: Janice Stevanovic, jstevanovic@zionsville-in.gov, or 317-416-1920.



MEETING RESULTS- ZIONSVILLE BOARD OF ZONING APPEALS JULY 1, 2020, 6:30 p.m. (Local Time)

MEETING WAS FACILITATED BY REMOTE ATTENDANCE - NO IN PERSON PARTICIPATION BY THE BOARD OF ZONING APPEALS OR THE PUBLIC OCCURED

The following items were scheduled for consideration:

- I. Approval of the June 3, 2020 Meeting Minutes - **approved 4-0 with correction to page 1**
- II. New Business

Docket Number	Name	Address of Project	Item to be considered
2020-12-SE	T. Sharp	7465 S 475 East	Approved with Commitments as presented & filed w/exhibits & per staff report - 5 in Favor, 0 Opposed Petition for Special Exception to allow for new residential building(s) in an Agricultural Zoning District (AG).
2020-15-DSV	T. Sharp	7465 S 475 East	Approved with Commitments as presented & filed w/exhibits & per staff report - 5 in Favor, 0 Opposed Petition for Development Standards variance in order to provide for the construction of a detached barn which: 1) Is installed before the primary structure 2) Exceeds the allowable accessory square footage – omitted from petition as no longer needed in an Agricultural Zoning District (AG).
2020-16-DSV	M. Walters	4560 S 975 E	Approved as presented & filed w/exhibits & per staff report - 4 in Favor, 1 Opposed Petition for Development Standards variance in order to provide for the construction of a detached barn which: 1) Exceeds the allowable accessory square footage and 2) Exceeds the allowable accessory height – up to 24'-0" in the Urban Single-Family Residential Zoning District (R-SF-2).

Respectfully Submitted:
 Wayne DeLong AICP, CPM
 Town of Zionsville
 Director of Planning and Economic Development



MEETING NOTICE AND AGENDA ZIONSVILLE PLAN COMMISSION

Monday, July 20, 2020

7:00 PM (Local Time)

THIS PUBLIC MEETING WILL BE CONDUCTED PURSUANT TO GOVERNOR ERIC J. HOLCOMB'S EXECUTIVE ORDERS 20-02, 20-04 AND 20-08, 20-26, and 20-30 AND GOVERNOR HOLCOMB'S EXERCISE OF HIS POWERS UNDER INDIANA'S EMERGENCY MANAGEMENT AND DISASTER LAW, IND. CODE 10-14-3, *et seq.* ADDITIONAL INFORMATION REGARDING THE MEETING IS PROVIDED IN THE ANNEX PUBLISHED WITH THIS NOTICE.

1. Members of the public shall have the right to attend Plan Commission Public Meetings via the following forms of electronic communication:

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103.122.166.55 (Australia)

209.9.211.110 (Hong Kong SAR)

64.211.144.160 (Brazil)

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207.226.132.110 (Japan)

Meeting ID: 832 1808 6117

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The following items are scheduled for consideration:

- I. Pledge of Allegiance
- II. Attendance
- III. Approval of the January 21, 2020 Meeting Memo, April 20, 2020 and June 15, 2020 Plan Commission Meeting Minutes
- IV. Continuance Requests
- V. Continued Business

Docket Number	Name	Address of Project	Item to be Considered
2020-10-Z	Windhaven	8175 & 8775 W. Oak Street	<p>Petitioner requested continuance from April 20, 2020 to May 18, 2020 Plan Commission continued the project from May 18, 2020 to June 15, 2020 Petitioner requested continuance from June 15, 2020 to July 20, 2020</p> <p>Petition for Zone Map change to rezone 24.283+/- acres from the Rural (R1) Residential Zoning District to the (PUD) Planned Unit Development Zoning District</p>

VI. New Business

Docket Number	Name	Address of Project	Item to be Considered
2020-19-DP	AES Office Building	10440 Bennett Parkway	Petition for Development Plan Approval of a 12,000± square foot (6,000 square foot footprint) office building on 4.30+/- acres within the Urban Industrial Two Zoning District (I-2 Urban). Waivers of Building Materials and Architectural Design requirements requested.

VII: Other Matters to be considered

Docket Number	Name	Address of Project	Item to be Considered
			None at this time

Please note that a quorum of the Zionsville Town Council may be in attendance at the meeting.

Respectfully Submitted:

Wayne DeLong, AICP, CPM
 Director of Planning and Economic Development

ANNEX TO PUBLIC NOTICE FOR THE JUNE 15, 2020, REGULAR MEETING OF THE ZIONSVILLE PLAN COMMISSION

In his Executive Orders 20-02, 20-04, 20-08, 20-26 AND 20-30 (collectively, the “**Executive Orders**”), Governor Eric J. Holcomb has ordered all political subdivisions of the State of Indiana to limit public gatherings and to implement the Centers for Disease Control and Prevention’s and the Indiana State Department of Health’s recommended virus mitigation strategies. The Executive Orders suspend certain requirements for Essential Governmental Functions that facilitate Essential Infrastructure with respect to public meetings and open door laws, including suspending physical participation requirements by members of public agency governing bodies and permitting public attendance through electronic means of communications. As a political subdivision of the State of Indiana, the Zionsville Plan Commission (the “Plan Commission”) must comply with the Executive Orders throughout the duration of the COVID-19 Public Health Emergency. According, all public meetings of the Plan Commission shall be conducted in the following manner until the end of the COVID-19 Public Health Emergency:

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Meeting ID: 832 1808 6117

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2. If a member of the public would like to attend a Plan Commission Public Meeting, but cannot utilize any of the access methods described above, please contact Wayne DeLong at 317-873-5108 or wdelong@zionsville-in.gov.
3. The Plan Commission will continually revisit and refine the procedures in this Annex to address public accessibility to Plan Commission Public Meetings during the COVID-19 Public Health Emergency.
4. If you need technical assistance in logging into Zoom for this webinar, please contact: Roger Kilmer, rkilmer@zionsville-in.gov, or 317-690-6539.

Zionsville Plan Commission
June 15, 2020

In attendance: David Franz, Josh Fedor, Jeff Papa, Larry Jones, Mary Grabianowski, George Lewis. Absent is Sharon Walker.

Staff attending: Bob Clutter, attorney, Wayne DeLong, and Janice Stevanovic.

A quorum is present.

Franz All right, well, we've got nine panelists, fifteen attending so far, so I guess we'll get this thing started. I'll call to order the June 15, 2020 Zionsville Plan Commission. No need to stand up, but we'll start with the pledge of allegiance.

All Pledge of Allegiance.

Franz All right. So, Janice, will you please take roll?

Stevanovic Yes. Mr. Franz?

Franz Present.

Stevanovic Mr. Lewis?

Lewis Present.

Stevanovic Mr. Papa?

Papa Present.

Stevanovic Mr. Fedor?

Fedor Present.

Stevanovic Mr. Jones?

Jones Present.

Stevanovic Ms. Grabianowski?

Grabianowski Present.

Stevanovic Ms. Walker?

Franz She informed me she was going to miss the meeting because of an injury she suffered. So, we have six, that's a quorum. Four votes for any matter for it to be passed. All right. So, Larry, did you get a chance to look at the April 20 meeting minutes?

Jones No. I've got to get it done. All right. I'll get them.

Zionsville Plan Commission
June 15, 2020

Franz All right. So, we'll, in the packet you have the May 18, 2020 minutes. Is there any comments, additions, deletions to those minutes? If not, is there a motion to approve?

Grabianowski So moved.

Franz Is there a second?

Fedor Second.

Franz Bob, do we need a roll, or can we do this by?

Clutter No, you can do it by consent.

Franz Okay. All in favor, signify by aye.

All Aye.

Franz Opposed? Okay, motion carries. Those are approved. We have two matters continued from last month. I'm going to go ahead and switch the order a little bit and take the Windhaven one first. So, # 2020-10-Z, Windhaven, 8175 and 8775 West Oak Street, petition for zone map change to rezone 24.283 +/- acres from the rural R1 residential zoning district to the PUD planned unit development zoning district. At this time, we do have a request from the petitioner for a continuance. It's my understanding with the Governor's order, those are pretty much just a matter of fact and just approved. Is that correct, Bob?

Clutter Yes, that is correct.

Franz All right. So, is there any comments or questions before we take a motion on this matter? If not, is there a motion to continue this meeting to the July - -

Stevanovic July 20.

Franz July 20 meeting.

Grabianowski So moved.

Franz Is there a second?

Jones Second.

Franz I guess we'll take a roll on this one.

Clutter Yes, you should.

Franz Janice, please.

Stevanovic Mr. Franz?

Franz Aye.

Stevanovic Mr. Lewis?

Lewis Aye.

Stevanovic Mr. Papa?

Papa Aye.

Stevanovic Mr. Fedor?

Fedor Aye.

Stevanovic Mr. Jones?

Jones Aye.

Stevanovic Ms. Grabianowski?

Grabianowski Aye.

Franz All right. Motion carries 6-0, so that's continued to the July 20 meeting. Next item on the Docket is # 2020-08-Z, a petition for zone map change to rezone 76 +/- acres from the rural AG agricultural zoning district to the rural I1 industry zoning district. Before we start on this one, well, is the petitioner's representation present? I guess I'll ask this question of him. Did you notify people with first class mail, or was it registered mail? Was it first class?

Price Mr. President, we did registered mail. We did the normal standard notification. So, no waiver required.

Franz All right. Thanks. So, with that I'll go ahead and start, Matt.

Price Thank you, Mr. President, members of the Commission. For the record, my name is Matt Price. I'm with the Dentons law firm with an address of 10 West Market Street in Indianapolis. I'm here this evening on behalf of Prologis. I've got our development team with me available on the Zoom meeting this evening, which I'd like to introduce their names, and then I'm going to attempt to share my screen here because I've got a PowerPoint that I'd like to talk through. From Prologis, I have Amy Zepka and Mike Carrico, and then on our civil engineering team, we have Greg Dempsey and Jerry Kittle, who are familiar folks to you from some other matters in recent months and years. Let me attempt to share my screen real quick. Can everybody see that okay?

Grabianowski No. Still looking at your pretty face, Matt.

Price Is that right? I apologize for that. Let's see here. I did this the other day with great aplomb. How's that?

Grabianowski Much better.

Price Very good. Well, thank you for your patience. As I mentioned here - -

? 22:48 -Inaudible-

Price Oh, I'm sorry. Here tonight on Prologis, I thought I'd mention just a little bit about. The company has been around for a number of years, founded in 1983, as really the leader in industrial properties around the country. Very experienced, well-funded. One of the leaders of the S&P. And, one of the things that you're seeing here in Zionsville, we'll all see, and Prologis is definitely seeing around the country, is that the pandemic has been kind of a re-tooling is the phrase used sometimes here of the supply chain. And, it's been the result of at least two driving forces. One being retailers looking at heightening their inventory levels in order to meet fluctuating customer demand. In particular upticks in customer demand. And, secondly, this whole pandemic has really accelerated the acceptance of e-commerce and direct-to-consumer shopping and delivery. Something that was already with us, and certainly this was a robust segment of the economy, but recent events have made it even more so, and are driving demand, particularly for properties that are particularly well-suited for this type of use. We're here this evening because we believe that this particular parcel is one of the sites very well-positioned for this type of use. I want to orient you, although I know you all are very familiar with the area. But, outlined in yellow is the approximately 76-acre parcel. You may recall immediately east is what I'll refer to as the Becknell project, approved, I believe, in the fall/winter of 2018. The property to the north that's labeled I1 is the Exeter project, actually in Whitestown's jurisdiction, but is an industrial use to the north. To the west and to the south across County Road 550, parcels that are owned by our seller, the Everett family. Those are additional properties that they own. And, then the property has kind of a cutout in the southeast corner that is a unique couple of parcels. One parcel, the western one has a home on it. The one to the east also has a dwelling use that's also combined with another property that appears to have a significant commercial component to it. The property has a very large parking area around its perimeter and observation over the last several months, there is a semi parked in front of the building that actually looks to be loading and unloading into the storage building that's located on that property. So, it's very well-positioned around and among existing industrial properties. I should also point out that one of the things that is driving development in this area for this type of use is its proximity to the existing 267 interchange, which is the interchange that you can see at the very northern part of the aerial. And, then also the future I-65 interchange, the mid-point interchange, if you will, which is at the eastern extent of County Road 550 East to the east that you can see is labeled as future I-65 interchange. The building layout that we've proposed in the conceptual plan consists of two buildings, just over 550,000 square feet each. To orient you, because I want to make sure we're all looking at this drawing the right way, the arrow pointing north is to the right. So, the Exeter common area for the Exeter project is to your right at that direction. You'll see that we have a detention facility at that end of the property. Greg Dempsey and Jerry Kittle with Innovative were also the civil engineers on the project immediately east that are well-connected, well-familiarized with the drainage needs for this property, and so they have laid out the project based on their knowledge of the hydraulics for this property. It's also, there will also be a detention facility in the far southwest corner of the facility, as well. One design characteristic I wanted to point out is

these buildings have kind of H-shape, and that's because there are recessed loading docks being utilized, and that's what you see on the north and south of each of the buildings. And, this is a colorized version of that same drawing, and just to try to add some confusion to our PowerPoint, I apologize, the north is now to your left, so you'll see up in the northeast corner is part of that detention facility that I spoke of earlier, and then that same detention facility that's on our southwest corner is to the far right of the drawing. I also wanted to point out that we have included what we call the buffer yard age. A 20-foot buffer yard with the plantings specified in Zionsville's zoning ordinance for an age buffer yard, which is what's required when adjacent to an agriculturally-zoned property, and so the perimeter along our western boundary, which is the boundary at the bottom of the drawing, as well as in the northeast and southwest portions of the drawing will have that enhanced buffering around the project. The property to the east is, of course, shares the exact zoning, and it has a buffer yard, but of a lesser extent for like zoning classification. Also proposing several commitments relative to the limitation of the height of light poles. Downward lighting required on the buildings in accordance with Zionsville's lighting ordinance. As I mentioned, we are also providing for the buffer yard types, as I mentioned, for the adjoining industrial property, as well as the buffer yard-type age for the portions of the property that's zoned agriculturally-zoned properties. Our practice has been to specify the trees based on the ordinance requirements which also permits a selection from a variety of species in order to arrive at a visual area between adjoining properties. We also wanted to point out that we have had extensive discussions with staff concerning various aspects of the layout concerning relative to parking, access drives, and buffering, and the plan that's being presented to you is a concept plan, realizing that when we come back through our development plan, there may need to be some finalization of the exact location of these various attributes, including the access drives. We believe, and I think it makes sense that the access drives that we're proposing will line up exactly with the Becknell project across the street. And, so, we don't think there will be any changes there, but we also understand that the Town will want to have additional input as we work through the final design characteristics for the project. And, then lastly, we have, as we've done on some other recent proposals, we've agreed to screen any outside dumpster locations, also in accordance with Zionsville's zoning requirements. I'd like to close just by mentioning that we certainly agree with the staff report. We feel like it's a very clear and concise analysis of the prevailing land-use pattern in the area, and believe it makes a compelling case for why this rezoning makes sense, and my development team and myself are available to answer any questions that you have, and we'd respectfully request your favorable recommendation. Thank you.

Franz All right. Thank you. At this time, are there any attendees in the audience who would like to make a comment on this matter. If so, I guess you raise your hand on your button and Wayne will, I believe Wayne's managing it. If there are, he'll let you speak. Matt, could you take down, stop sharing that?

Price I will. Yes, sir.

Franz Thanks. Janice, you're on mute.

Grabianowski Matt, it's still up.

- Price Did it change?
- Grabianowski No.
- Price Oh, I'm sorry.
- Stevanovic There we are. I was trying to let you know that no hands have been raised at this time.
- Franz Okay. All right. So, Janice, at this time, could we have the staff report please?
- Stevanovic Certainly. Well, the parcel in question is within the Town's corporate limits, and is subject to the comprehensive land-use plan. Understanding how the parcel fits into the developing land pattern, it's critical to the review of the request. We've looked at the Town of Zionsville. We've looked at the Whitestown comprehensive plan, and have understood that the intensification of the industrial development in the immediate area is evidenced in the Becknell approval, HUD phase 1 and HUD phase 2. Lends itself to allowance of the rezoning. Because of these factors, a deviation from the comprehensive plan to facilitate a rezone to light industrial is supportive in the opinion of staff, and we recommend a favorable recommendation to the Town Council.
- Franz All right. Thank you, Janice. At this time, I'll open it up to any questions from any of the members of the Plan Commission.
- Lewis So, I've got a couple questions. First of all, I notice in the packet that there is a couple of references to the Prologis PUD, but it looks like in the information we're being presented this is a rezone from ag to light industrial. Was it at some point envisioned to be a PUD, but that's not the case anymore?
- Price Thank you, Mr. Lewis. That is an excellent question. No, at some point, I believe, some of the staff comments refer to it as a PUD, and I think that was just a leftover in the memo format. It was never proposed to be a PUD. It's always been just a straight rezone. Thank you for mentioning that.
- Lewis Okay. And, then the next question I have is I remember when the Becknell property came up, there were several other property owners to the south of 550 who were concerned both about the drainage in the area and also traffic along 550. I know one drawing seems to show 550 being improved in the longer term, but I don't know that that road really supports truck traffic at this point. I think the Becknell property, if I recall, restricted traffic going down 550. Now this one, I guess, is on the other side of the road, but I don't know at what extent those two items have been fully explored. Has this been to the Boone County drainage yet, and what do they think about it?
- Price It has received initial comments from Boone County relative to drainage and relative to the highway department. I would say this that we feel like we're starting with a leg up on this project as compared to Becknell because the hydrology of the site in this vicinity is so well-known now. The Becknell project, even post-zoning approval went through about another year of engineering to

accomplish a satisfactory drainage plan, and with Innovative's help, we're really building upon that head start, and so we feel like we've got a solid foot for the future drainage plan that will be put in place relative to the development itself. With regard to the use of County Road 550, we discussed, that road is actually under the jurisdiction of Whitestown, and we have discussed those concerns relative to whether the road is really suitable for truck traffic, and your memory is very good in that the Becknell project actually contained a commitment that until that road was improved, it would not be available, the access off of County Road 550 would not be to truck traffic but to passenger vehicle traffic only.

Jones Didn't the Becknell project have the ability to feed itself through its own project?

Price Through its own 38:36? Is that, sorry Mr. Jones?

Jones Yes. I thought they had the ability to actually access those properties from their other development to the east of that.

Price They may have. They do have a full access, actually off of 267, as well. I believe the northern and the central one are both full access points. We're proposing a central access point off of 267, and then a northern access point that would be right in, right out.

Stevanovic Mr. President, if I can jump in here. Wayne is thinking that he might be able to speak.

Franz Okay.

Stevanovic Are you there, Wayne? No? I apologize. We had hoped.

Jones I guess the biggest concern I have about this is just trying to figure out where is the demand coming from? Because I took a drive out there an hour ago, and, Matt, I can almost guarantee I know what the answer is, but do you have any idea how many available square feet of unused vacant buildings that are already erected is out there?

Price I don't. I do not know how much vacant square feet there is. I do know, though, that the area is actively approached for RFP responses, and the industry is itself, and I mean this more broadly as far as what is being written right now. The industry itself is forecasting significant increased in demand, and what I think what the general feeling is is that the industry was healthy before, but I think in light of recent events with the pandemic that it's laid bare some of the weaknesses of a just-in-time supply chain. And, so there is a sense that they're going to need to have more facilities to allow greater inventory holdings by those who deal directly with consumers, and many of those retail offer, retail businesses - -

Jones --Isn't the pandemic pointing out that we've got our people performing work too close to each other by, you know, when you start to have these warehouses with the 50 and 60-foot ceiling heights, all that density of material that was vertical eventually shows up on the horizontal, and that's where they're having the issues. I don't know, I don't quite agree with that. What I do know is, I was just amazed

going out Albert S. White drive that the number of buildings on the north side of that road that are just, they're new and they don't look like they've been touched as well as some of the project, you know, up and down 267. The Whitestown business center. I mean, I don't quite, you know, I guess I wasn't particularly supportive of the projects that went to the north of the Whitestown development that wrapped around that neighborhood, and we seem to be pushing further west and further south when, one, I don't see the need. Two, I can drive around and find another, hundreds of other acres closer to the proposed intersections. Especially the new one that Whitestown is talking about doing, as well as I guess they're going to upgrade the one there at Albert S. White and 267, as well. Once again, I don't see a need. I see a want. I don't see a need. And, what we're running up against is there was a whole group of people that petitioned to join the Town of Zionsville just to prevent this from happening. I mean, isn't that just behind the push for Perry Worth to sort of join in with Zionsville.

Price Well, I don't know that we speak on behalf of the citizens of Perry Worth. I think a great number of folks in Zionsville understood that the consolidation would also be an opportunity to further diversify our tax base, and I could have, I have Mike Carrico with me this evening who can talk about some of the absorption rates that are very significant and the industry is calling for more demand for these type of facilities.

Jones I'd actually be interested in hearing what the - -

Price --supply of goods.

Jones I mean, how often do businesses that come into these begin to ask for some sort of abatement one way or the other? Even after the building is done?

Price Well, the individual users sometimes ask for abatement. The users that move in. To be competitive, all of these projects ask for abatement for the buildings themselves. To give you an idea of scale - -

Jones --Once again, explain it to me.

Price What's that?

Jones You're telling me what the, you're explaining what, how do you want to say this? You're telling me when they start asking for abatement that there is no real benefit to the Town, although you said earlier, we were trying to expand our tax base. So, which side of the point are we on?

Price What I'm explaining is the realities of needing to compete in this space, but as a practical matter, this is a huge point, and it's why there has been such solid support from an economic development standpoint in the community. This is a \$50 million project. So, you're talking about almost 2 1/2 times the total AV of both side of Main Street in one building. It's 3 times the AV of Lids. Even on an abated basis, it's still a massive opportunity to increase and diversify our tax base, and when you couple Becknell, Van Trust, Prologis together it's a very significant opportunity to increase our tax base, even with an abatement in ways that are otherwise basically not available to the Town. And to do so in a way that

where there are comparatively low demands for service. It's an area that's already equipped with utilities and road infrastructure that is already planned and ready to develop 45:28. So, it's a real opportunity to build on that existing platform. And, the staff report indicates that.

Fedor Matt, where is the, I know Ronald Reagan is going to come up with this general area somewhere near the 45:53 Becknell property, as well. Do they know where this is coming through? And, how close is it to this property?

Price Yes. So, it is essentially through this section of 267, and we're being asked and are agreeing to dedicate the right-of-way necessary for that expansion, for the expansion of the right-of-way.

Fedor So, little pink lines I see on this one map here that says 'proposed road improvements going over to the new intersection', that's not Ronald Reagan?

Price Well, that's, and I wanted to caution you on looking at, that's the PowerPoint I think that we pre-filed. The drawing is a little off because if you look in the upper right-hand corner of that drawing, there is a disconnect in the highway between the 267 interchange and the 65 interchange. So, that should line up with County Road 500, is that that's really showing. County Road 500 over to the new mid-point interchange. I hope that's clear. But those new, those pink lines do show the improvements connecting to the new mid-point, which would then connect to 267.

Fedor So the north/south pink line there, which again, assuming what you're calling the mid-point road. Is that?

Price The mid-point is the new interchange between the 334 interchange and the 267 interchange.

Fedor All right. All right. So, now we're 550 South interchange.

Price Correct.

Fedor Thank you.

Jones How much additional setback was provided along 267?

Price If I could ask our civil engineer, Greg, to talk about the additional right-of-way dedication. If he could be recognized.

Franz Wayne, can you activate him?

Dempsey Sorry. Can you guys hear me now?

Franz Yes.

Dempsey Okay. Along 267 the required additional dedication, or actually the required total dedication on our half is 115 feet, which is the same as what it was on the other side for Becknell.

- Jones So, is that the line we see up next to the parking lot?
- Dempsey Yes. It would be fairly close to the parking lot on the east side there. There is a little bit of a grass area there.
- Fedor Now, is this going to be a similar project to the, I apologize for keep referring to the 49:30 Becknell project, but that started out with one set of buildings, and then became another set of buildings, and so forth. Is that the intent? Or is that open this situation as well, or is that going to be the last ones in this, they're really focusing on 49:53.
- Price I apologize, Mr. Fedor. I was having trouble making out your question a little bit. Just breaking up a little bit. I apologize.
- Fedor Is there going to be more, is this going to be phase 1 of Prologis, or is there going to be another one in 6 months coming up to us that backs up to this and more road traffic coming through this project, much like the Becknell project across the street?
- Price There is a possibility for future expansion west, but right now, this is the only property that Prologis has under contract with the Everett family, and it would really be up to the Everett family if they decided they wanted to sell any additional property. And, I think to the earlier point made too, for that to be done, I think there would also need to be very substantial improvements further west along County Road 500 for that to be possible.
- Jones We've got the same situation. The access road is being set up to go clear through the property from east to west.
- Price It certainly has that possibility.
- Jones Well, it's on the drawings.
- Price Exactly. Yes. We didn't want to foreclose that possibility from occurring, but there is not a current plan in place to do that.
- Lewis On the Becknell property, the other thing that I seem to recall is that the property to the north was concerned about the project, and I believe, the buffer, in addition to buffer yards there was mounding that was put in place to help screen those properties from the buildings. I mean, here there is a residence that's right next to the south end, right next to that detention area. I don't know if you guys have had discussions with them or not. And, then also to the north, I can't really read. There is a green area shown, but I don't know, I can't really read what it says.
- Price Yes. That is what we're referring to as the buffer yard meeting the H classification, which is the classification under the ordinance when adjoining an agriculturally-zoned property. That property was recently sold in April of this year, and is owned by, as best we can tell, an absentee land-owner that we've not been able to reach. We do know from the hydraulics of the site that the, that the ponding, the pond up there, is meant to both serve the drainage function and

provide additional buffering. It's the width of the pond at that location is a little over 100 feet, 114 feet give or take. We think that provides some additional buffering between the actual use and that property to the north. The dwelling is actually further north on that property. There is an open kind of fenced-in area with various outbuildings and fencing and trees etc., before you actually get to the dwelling. It's unclear whether that dwelling is occupied any more.

Lewis What about the one to the south?

Price The one to the south, it has that same, so in the southeast corner there is really two parcels that are owned by a person from, as best we can tell, from California. I've had discussions with that property owner, and again, we have the buffer yard H around the back of that property. To give you an idea from the distance from the building to the home site that is located there, it's a little over 400 feet from the recessed part of that building to the home itself, and the property then on the very southeast corner is a mixture. It has a residential component, but also a significant commercial structure. Again, it's surrounded by parking apron and appears to have some transport or related business function, just based on the fact that there is a semi that's backed up, and looks to be open to that building. We understand just a little more detail about the use of that building that it's an absentee land owner from California that sometimes comes into town during the race season and uses that as a place to temporarily locate.

Jones Is the guy's name Malloy?

Price Yes. Care to share more about that?

Jones Interesting, he hasn't had more to say about this. Have you been, has he received notice?

Price He has.

Franz So, anything else. Any other questions/comments?

Papa Matt. Is the county highway required to make any improvements to 550?

Price They are, yes.

Papa What are those?

Price So, if I could, Greg can expand upon this, but there are significant road improvements being requested by the, I think I may have misspoke earlier. With the county, they are county requirements. Greg, could you speak to those specific improvements?

Dempsey Yes. We had a meeting with Craig Parks up there, the County Highway Engineer, and what the county is going to require is a complete rebuild of 550 from 267 to the western property line of the Prologis site. We'll have to widen it. Obviously do an appropriate pavement cross-section to support the amount of truck traffic that will be there, and they're also requiring us to put a dedicated left-turn lane at the 550/267 interchange, or intersection there, as well as on the ground controlled by

Prologis, we'll have to dedicate additional right-of-way for future improvements by the county to 550 if they decide to improve it further to the west.

Price So there is both requirements on Prologis itself, plus the dedication of additional right-of-way should they decide to make future improvements, as well.

Franz Is there anything else? If there isn't, is there a motion on this one?

DeLong Dave, I can jump in here if you can hear me.

Franz Yes. Wayne, we can hear you.

DeLong Very good. It's been a bit of a challenge. Certainly, I appreciate Janice providing the summary of the staff report and the great questions that have been asked of the petitioner, and certainly Larry's focus on the tax abatement conversation. Certainly, every project that you've seen as a Plan Commission, be it Hub or the Becknell projects, those projects have sought tax abatements. Certainly, the Town has supported those. The petitioner has indicated eloquently that, you know, these projects even with the abatements do generate a significant amount of tax for the community. Just, that's definitely a truth, but more providing some additional information here, as well as double-checking my audio and see that it works.

Franz Okay. Thank you. Is there, with no further discussion, would somebody like to make a motion?

Fedor I move that Docket # 2020-08-Z, zoning map change, to rezone an approximately 76 acres from rural agricultural zoning district to rural industrial zoning district receive a favorable recommendation based on findings in the staff report.

Franz Is there a second?

Papa Second.

Franz All right. We have a motion with a second. Wayne, are you going to run the roll call, or should Janice?

Grabianowski Wayne is muted.

DeLong I would be happy to facilitate the roll call.

Franz Okay.

DeLong Mr. Fedor?

Fedor Aye.

DeLong Mr. Jones?

Jones Aye.

DeLong Ms. Grabianowski?

Grabianowski Aye.

DeLong Mr. Papa?

Papa Aye.

DeLong Mr. Franz?

Franz Aye.

DeLong Mr. Lewis?

Lewis Aye.

Franz All right. Motion carries 6-0. I guess we'll see you next at the development plan.

Price Yes, Mr. President. Thank you for your time this evening.

Franz Thank you, Mr. Price. Matt, are you staying on? Okay. He dropped off. I was just wondering if he was going to stay on. I guess one of the things I forgot to do, I've forgot to do this every time we've had these virtual meetings, is ask if there is anybody in the audience who wanted to be recognized and have their name recorded that they were in attendance. If that's the case, could they please raise their hand and Wayne can acknowledge them.

DeLong Happy to do so. I see Mr. Andreoli has raised his hand. Joe Gregoline has raised his hand. Pausing for a second here to see if any other hands are raised. I don't see any more than the two that I had mentioned. So, you have those now noted for the record.

Franz All right. Thank you. I would assume Mr. Andreoli would be here, because he's up on the next item. So, moving on to new business, let me get back to the agenda, Docket # 2020-17-MP, North minor plat, address of 8653 East 125 South, petition for minor plat approval for the establishment of two lots with a waiver request from Section 193.056B4 water facilities of the subdivision control ordinance in the R2 rural residential zoning district. Is the petitioner present? He is on. So, Mr. Andreoli, I'll hand it over to you.

Andreoli Thank you, Mr. President. For the record, my name is Mike Andreoli, 1393 West Oak Street in Zionsville. I represent Mike and Charlie North. They are seeking a minor plat for a lot that they own in an older platted development that was platted through the County. We thought that the easiest, most simplest way we could handle this, their lot currently consists of Lot 1 out of 4 in the existing 1:02:55 minor plat, and they are simply wanting to divide that. They are going to be selling their substantial single-family residence there and try to downsize to a property adjacent to this as a builder, and would like to move into that property and then sell his home to another buyer. As I say, the property there to go ahead and do a minor plat with it. One of the initial impediments was that there were obstructions on a number of lots in the Keeler plat

covenants 1:03:29. We've now got a unanimous consent to go ahead and amend those covenants and give them amended as part of your packet to allow an additional lot. So, essentially, the easiest, most expeditious way to do this was to simply do a minor plat for the one lot that was remaining and that minor plat would be divided into two lots, and would now become the north minor plat. All of the soil borings have previously been done. They will have a separate well. There is no essential utilities out there other than electric utilities, but there is no sewer and water to the site, so they'll have a separate septic, separate well. The hydraulics out there are quite good. There's never been a problem with any of the water in that particular location. The property is located at 8653 East County Road 125 South, which is out close to Wolf Run. There is utility lines running down the one side, and there is a common lane that serves for properties as it currently exists, and essentially the North's have access off of 125 South. There will be an additional access that will be created through the lane that will be established, so we don't think that there is any problems with county highway. No problems with the septic well situation out there, and all four residents in the prior minor Keeler plat were on board with this particular change. So, it's simply just establishing a minor plat of Lot 1, which was original lot in the Keeler minor plat and do the North minor plat subdivision. Be happy to answer any questions. I think staff report is pretty detailed and covers it quite well.

Fedor Mike, did you say that the couple who are doing this are intending on building a home on these, or one of these two lots?

Andreoli Yes. That's a good question. What's happening is Mr. North is a residential home builder and has the current home on the easternmost portion of what was the original Lot 1 of the Keeler minor plat. That lot is being subdivided, assuming your approval, that will divide it essentially in half, and that lot will remain and then the North's will build another home on Lot 2, which would be the second lot in the North minor plat, if approved.

Fedor Thank you. Okay, to be clear, this road is still gravel. Is that correct? The county road?

Andreoli No. I think the road, no it is still gravel. You're correct. It is still gravel, 125 coming from the road that goes up to Wolf Run is a gravel road, so it will remain as such. And, I might add, we checked with the County. There is really no plans to actually put hard surface on that, the road, that we know of in the immediate future.

Fedor I do know that they paved up to about a mile down the road to the west of this property. I just didn't know if they have any continuing on down 125 or not.

Andreoli I don't know.

Lewis You're muted, Dave.

Franz Okay. My fault. Sorry about that. All right. So, Wayne, can we have staff report, please?

- DeLong Certainly. Staff is supportive of the petition as it's been filed. The petition contains two different parts. First is the waiver of the subdivision control ordinance, specific to the well capacity. You may recall this specific item from various previous petitions. The well capacity can be at times a challenge to achieve, and certainly that item would need to be discussed and voted upon. The division of the parcel as requested certainly complies with the zoning ordinance, and certainly with the action taken by Mr. Andreoli and his client to amend the plat's private covenant. Certainly, there is no other restrictions that the Town has run across that would prohibit such a division. Again, staff is supportive of the petition as it's been filed subject to the approval of the requested waiver, and I'd be happy to answer any questions.
- Franz All right. Thank you, Wayne. With that, is any members of the Commission have any questions regarding this matter? If there are none, is there a motion?
- Clutter Just to be safe, was there a request, or has anybody held up their hand to see if any members of the public would like to speak?
- Franz Yes. I did. Well, I might have been on mute.
- Clutter I think you were muted at the time.
- Franz Good point. And, also, Mr. Andreoli, did you notify with registered mail, or were you first class?
- Andreoli No. We did first class, but the people that were most immediately affected, of course, were the people in the existing Keeler minor plat subdivision, and those people were contacted obviously directly, because they had to sign the amended covenants that would allow this additional lot. So, the people that were most affected were the ones that were talked to actually in person and had to sign the actual amended declarations.
- Franz All right. But I think we'll still need to have a motion of the waiver. Is that correct, Bob?
- Andreoli Yes. We do need a motion of the waiver, and I did not request that, but understood that you would want that, and that we would certainly request that you do that.
- Franz All right. So, at this point, is there a motion to waive the requirement of registered mail in lieu of first-class mail?
- Papa So moved.
- Franz Is there a second?
- Grabianowski Second.
- Franz By acclamation, all in favor say aye.
- All Aye.

- Franz Opposed? Motion carries. Was there any comments from the public on this matter, then?
- DeLong Mr. President, I do not see any hands raised.
- Franz Okay. All right. Thank you, Wayne. All right, so with that, we've had the questions. Is there a motion on this matter?
- Papa I'll make a motion. I move to approve that Docket # 2020-17-MP minor plat waiver to utilize wells which do not comply with the standard found in Section 193.056.B in subdivision control ordinance be approved based on the findings in the staff report as presented.
- Franz Is there a second?
- Grabianowski Second.
- Franz Wayne, would you please take roll?
- DeLong Certainly. Mr. Jones?
- Jones Aye.
- DeLong Ms. Grabianowski?
- Grabianowski Aye.
- DeLong Mr. Papa?
- Papa Aye.
- DeLong Mr. Franz?
- Franz Aye.
- DeLong Mr. Lewis?
- Lewis Aye.
- DeLong Mr. Fedor?
- Fedor Aye.
- Franz All right. Motion carries.
- Andreoli Thank you to the Plan Commission. Thank you.
- Franz All right. Thank you, Mike. With that, we conclude our business. Is there any other matters to be discussed? Wayne, is there any indication, I mean, are we

assuming that the virtual meetings will continue into July? Has there been any kind of indication from anybody on that?

DeLong I would say at this point there is no information. Certainly, the state, I would believe, intends to be at Phase 5 of that. The Town Hall is intending to open in July. I would say all these factors are leading towards an in-person meeting, though how an in-person meeting would be handled with social distancing and other requirements, both for the bodies such as the Plan Commission and the attendees and staff will be very different.

Franz Okay. I'm just thinking if Windhaven does move forward next month, the attendance potential issues with that. So, I guess we'll have to try to figure that out once we find out what the direction will be from the Town on meetings. So, is there anything else from anybody else? If not, is there a motion to adjourn?

Grabianowski I move we adjourn.

Franz Is there a second?

Jones Second.

Franz All in favor, aye.

All Aye.

Franz All right. Good night everybody.

All Good night.

DeLong Thank you, everybody.

All Thank you.

Janice Stevanovic

From: Matthew S. Skelton <mskelton@cchalaw.com>
Sent: Wednesday, July 8, 2020 3:31 PM
To: Janice Stevanovic
Cc: 'Jonathan Isaacs'; Andrew E. Wert
Subject: Windhaven - Request for Continuance

Janice:

Please accept this email correspondence as M/I Homes of Indiana's request for continuance of the Windhaven petition. After speaking with Director DeLong, we agree that it would be desirable to wait for the August plan commission meeting in hopes of being able to participate in a live-in-person meeting.

Thanks you for your consideration. Please let us know if you need anything else.

Stay safe,

Matt

Matthew S. Skelton | Attorney

Church Church Hittle + Antrim

Two North Ninth Street
Noblesville, IN 46060

P: 317.773.2190 | **F:** 317.773.5320

cchalaw.com

cch+a



Petition Number: 2020-19-DP

Project Address: 10440 Bennett Parkway

Project Name: AES Restaurant Group - Office Building

Petitioner: Landworx Engineering, LLC

Representative: Ben Houle and Leslie Steinert of Landworx Engineering

Request: Petition for Development Plan Approval of a 12,000± square foot (6,173 square foot footprint) office building on 4.30± acres within the Urban Industrial Two Zoning District (I-2 Urban). Waivers of Building Materials and Architectural Design requirements requested.

Current Zoning: Urban Industrial Two Zoning District (I-2 Urban).

Current Land Use: Unimproved lot within the platted Ripberger Business Park

Approximate Acreage: 4.30± acres

Related Petitions: None

Exhibits:
Exhibit 1 – Staff Report
Exhibit 2 – Aerial Location Map
Exhibit 3 – Current Zoning Map
Exhibit 4 – Petitioner’s Narrative
Exhibit 5 – Development Plan Drawings (includes Site Plan, Utility Plan, Landscaping Plan, Site Photometric, Lighting Fixture Cut Sheets, Building Elevations, Building Renderings, and First Floor Construction Plan)
Exhibit 6 – Town Engineer’s Comments (dated July 15, 2020)
Exhibit 7A & 7B – Petitioner’s Findings regarding Waivers
Exhibit 8 – Petitioner’s Findings of Fact regarding Development Plan Approval

Staff Presenter: Wayne DeLong, AICP, CPM

PETITION HISTORY

This Petition is scheduled to receive its initial public hearing at the July 20, 2020, Plan Commission Meeting. The Replat of Ripberger Business Park (Docket #2013-13-SP) establishing the subject site as Lot 3B was heard and approved by the Zionsville Plan Commission on June 17, 2013.

PROPERTY LOCATION, ZONING CLASSIFICATION & PROJECT DESCRIPTION

The subject site is generally located 900 feet south of 106th Street on the west side of Bennett Parkway and is addressed as 10440 Bennett Parkway. The subject site is 4.3± acres and was platted as Lot 3B in the Replat of Ripberger Business Park recorded on July 30, 2013. The subject site is bordered on all sides by developed parcels. The site is zoned Urban Industrial Two Zoning District (I-2 Urban) as is the adjacent parcels to the north, east and south. The parcel to the west of the subject site is zoned Urban Single-Family Residential (R-SF-2).

The Petitioner proposes to construct a single tenant, office building of 12,000± square feet (a 6,173 sq. ft. footprint) with related parking areas. Vehicular access to the subject site will be from Bennett Parkway. Pedestrian maneuverability on site will include a sidewalk along the front façade of the proposed building. A 10-foot-wide recreation path is already constructed along the Bennett Parkway frontage and will parallel the building. No sidewalk connector from the office building to the recreation path is proposed.

ANALYSIS

The Petitioner requests approval for the development of a two story (lower level being a walk-out basement/storage area), 12,000± square foot single-tenant, office building, with related parking areas.

DEVELOPMENT PLAN REVIEW

Zoning Ordinance:

Approval of a Development Plan by the Plan Commission is required for “...new development or major additions...” within the Urban Industrial Two Zoning District (I-2 Urban).

Architectural Design Requirements:

The subject site is within 400 feet of a Collector Street (Bennett Parkway) and is therefore subject to the Zoning Ordinance’s requirement (§194.070(D)(1)(a)) of “...any new building or building addition be designed to incorporate the salient features of and be consistent with or complementary to the Zionsville theme, incorporating the architecture, design and overall aesthetic exterior character of a building consistent with the Georgian, Federal, Greek Revival or Victorian architectural styles.”

The Zoning Ordinance does provide that the Plan Commission may grant waivers of Building Materials and Architectural Design requirements and approve the proposed design provided the following findings are met for the respective categories:

Building Materials Findings. The town may grant a waiver of the building materials development requirements and approve the use of alternate exterior building materials on any facade of a building upon finding that:

1. The building materials utilized represent an innovative use of said materials which enhance the overall aesthetic exterior character of the building and will not be detrimental to the use or value of area properties;
2. The building materials utilized are appropriate when compared to the building materials utilized on other buildings on the site and surrounding sites;

3. The building materials utilized are consistent with and compatible with other building materials utilized on, and with the overall exterior character of, other buildings and development located along the street; and
4. The building materials utilized are consistent with the intent and purpose of this chapter.

Architectural Design Findings. The town may grant a waiver of the architectural design requirements of section of this chapter and approve an architectural design which does not incorporate the overall theme or incorporate the architecture, design and overall aesthetic exterior character of a building consistent with the Georgian, Federal, Greek Revival or Victorian architectural styles upon finding that:

1. The Architectural design represents an innovative use of building materials or design, or site design features which will not be detrimental to the use or value of area properties;
2. The proposed building is appropriate when compared to the architecture, design and overall exterior character of other buildings on the site and surrounding sites;
3. The building design is consistent with and compatible with other development located along the street; and
4. The proposed building is consistent with the intent and purpose of this chapter.

Staff's opinion is that the waivers of the Building Materials and Architectural Design requirements are necessary for the proposed design and that the findings (noted above) for both waivers are met. The Petitioner has provided a Project Narrative (Exhibit 4) which details certain architectural features and the design inspiration of the proposed building. Petitioner has provided Findings for both waivers (Exhibits 7A and 7B)

The proposed building utilizes a variety of materials (brick veneer, cast and natural stone, fiber cement board, and a standing seam roof) and colors which will establish a standard for future buildings within the integrated center. Color building elevations, with the exterior building materials noted, are attached to this report with additional supporting documents within the Petitioner's materials (within Exhibit 5). As filed, Staff is supportive of the proposed architecture and color palette.

Landscaping:

The existing site is heavily treed and will require some clearing for the construction. A Conservation Easement affecting the north and western portions of the site was established through two different recordings, one in 2013 and another in 2014. As proposed, the site would be improved with a combination of deciduous and evergreen trees and shrubs as well as a variety of other types of plantings.

Staff is supportive of submitted Landscape Plan (within Exhibit 5).

Lighting:

The proposed lighting on the site includes 3 pole-mounted lights for the parking area and interior drive. Per the submitted lighting plan, the pole lights would be mounted at 20 feet in height and be appropriately located in front of and to the south of the building. Thirteen (13) Wall mounted lights would be placed on the building providing security lighting and architectural accents. A photometric plan has been submitted and is compliant with the Ordinance requirements. Cut sheets of the proposed lighting fixtures have been filed (within Exhibit 5). As filed, Staff is supportive of the lighting plan.

Signage:

The site is eligible to be improved with both ground signage and wall signs associated with the proposed building. Proposed signage and location of signage has not been provided for review. Final sign design(s) will be reviewed by the Town Staff at the time the Petitioner seeks sign permits associated with the proposed improvements.

Storm Water / Drainage:

The Town's Street / Storm Water Department and Town Engineer have reviewed the proposed storm water drainage plan and determined that the plans are acceptable with a few minor revisions or clarifications to be addressed in the final construction plans (review comments are contained in Exhibit 6).

Utility Access:

Adequate access to utilities is available to facilitate the project. No issues are known at this time.

Vehicle Parking:

The site layout provides compliant vehicle parking for the proposed multi-tenant retail building.

FINDINGS

The Plan Commission shall hear, and approve or deny, Development Plans based on Findings of the Building Commissioner or Plan Commission. Per Section 194.127 of the Ordinance the Plan Commission finds:

1. The Development Plan **is** compatible with surrounding land uses because:
2. The Development Plan **does** demonstrate availability and coordination of water, sanitary sewers, storm water drainage, and other utilities because:
3. The Development Plan **does** demonstrate the management of traffic in a manner that creates conditions favorable to health, safety, convenience and the harmonious development of the community because:
4. The Development Plan **does** utilize building materials and building style compatible with the Zionsville theme because:
5. The Development Plan **does** provide for the calculation of storm water runoff because:
6. The Development Plan **does** provide for current and future right-of-way dedications because:
7. The Development Plan **does** provide for building setback lines, coverage, and separation; vehicle and pedestrian circulation; parking; landscaping; recreation area or green space; outdoor lighting because:

The Petitioner's Proposed Findings are attached as Exhibit 8 for the Plan Commission's consideration.

STAFF RECOMMENDATION

Staff recommends approval of the requested Architectural Building Design waiver and the Building Materials waiver.

Staff recommends approval of the Development Plan Petition as filed, subject to resolution of outstanding review items identified by the Town Engineer (Exhibit 6).

RECOMMENDED MOTIONS

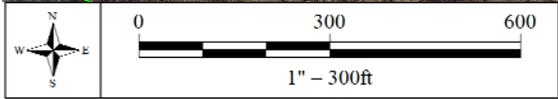
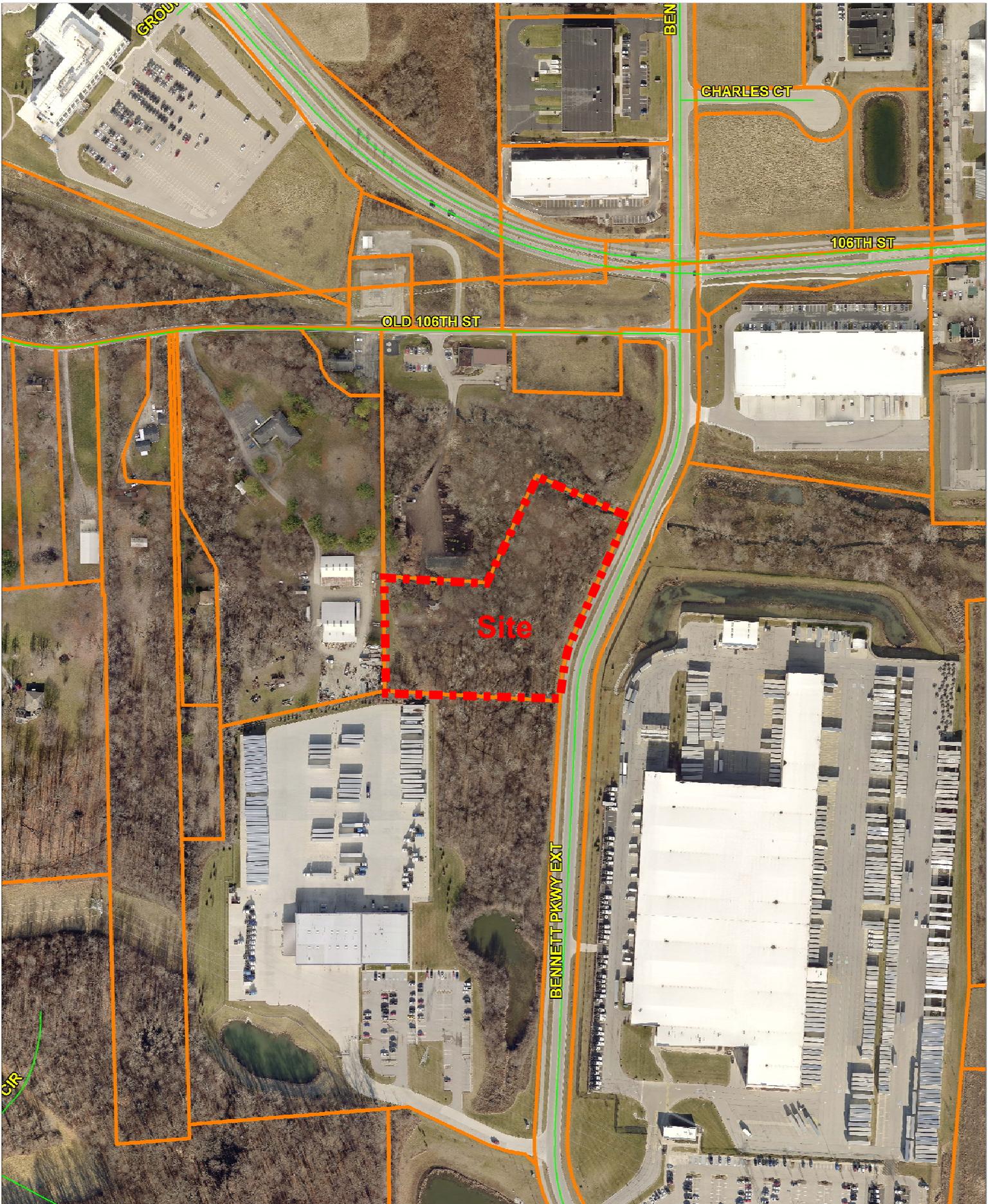
I move that the waiver of Architectural Building Design Requirements be (Approved based on the findings in the Staff report / Denied) as presented.

I move that the waiver of Building Materials be (Approved based on the findings in the Staff report / Denied) as presented.

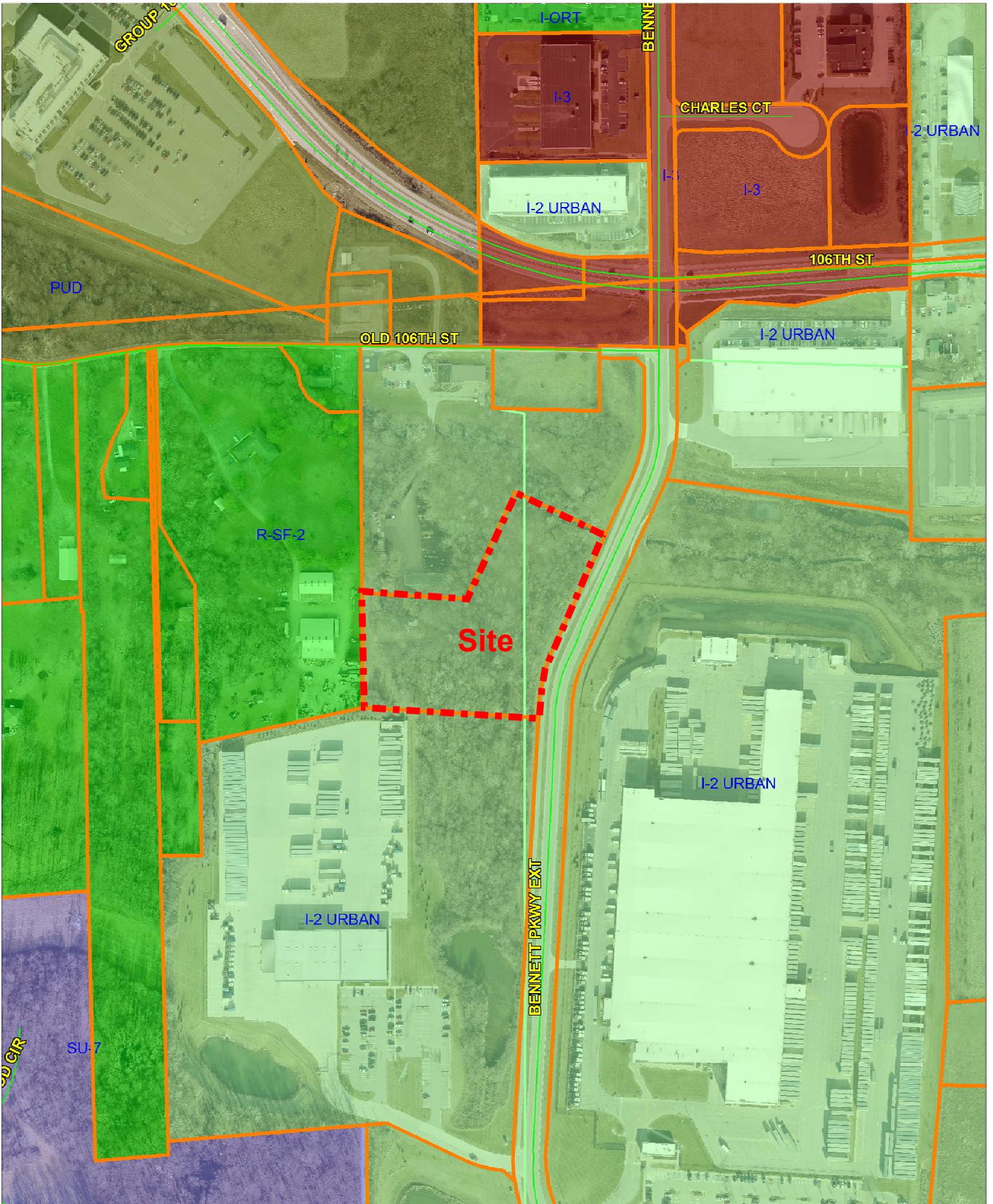
I move that Docket #2020-19-DP to allow for a two-story, 12,000± square foot single-tenant, office building, with related parking areas, in the Urban Industrial Two Zoning District (I-2 Urban) be Approved based on the findings in the Staff report, Staff recommendation, and submitted findings of fact / Denied/ Continued) as presented and subject to resolution of outstanding review items identified by the Town Engineer in Exhibit 6 of the Staff Report.

PROCEDURAL NOTES

An Improvement Location Permit will be required to be obtained from the Town prior to the commencement of any site work and/or building construction.



2020-19-DP: Location Map - Exhibit 2



2020-19-DP: Zoning Map - Exhibit 3



7/13/20

AES OFFICE BUILDING :: BENNETT PARKWAY

The proposed headquarters office building for AES Restaurant Group on Bennett Parkway has been designed to complement and be integrated into the site. The building's positioning allows for prominent visibility from the road and easy access to parking for guests. It allows the existing trees to the north and west to create a backdrop for the building. By placing the building in this manner, we are able to maximize the views from within the building to the woods and creek to the north and west, and also screening the private parking areas from view.

The building materials used on the building are brick veneer, cast stone, natural stone veneer, fiber cement panels, and standing seam roofing. The laminated timber roof framing members are also visible as they create the overhangs for the single slope roof. There will be a small section of EIFS used above the 1st floor private parking area where visibility is minimal. We feel that these materials are consistent with the materials permitted within the Michigan Road Overlay and are of high quality and durable. In addition, they all are complementary to the intent of creating a building that fits in with the natural setting of this site.

The building's architectural design has a low profile with a single slope roof rising up from the parking lot to the woods. This minimizes the impact of the building visually as guests approach. The front of the building is highlighted by a tower element which identifies the entry. This element extends the depth of the building, creating a focal point towards the woods when inside. As the roofline elevates from front to back, the interior of the space opens as well. The ceiling line follows the roof line allowing for tall windows on the back side, taking in views of the woods and creek, and providing for abundant indirect natural light. The private enclosed parking areas are positioned so that vehicles are not seen from within the building to not spoil the view, and to minimize the appearance of overhead doors from the road. While this building design is not in the styling of Georgian, Federal, Greek Revival or Victorian architecture, it is designed with the site topography, views and natural setting in mind. Those previously mentioned styles would not do this site justice. Just as this building would not be appropriate on Main Street downtown, we are confident that our design is much more appropriate for the context of this site than those historic styles.



Curran Architecture
 7519 LAYTON LOOP E DR
 INDIANAPOLIS, IN 46216
 317.286.0881
 http://curran-architecture.com



No.	Revision/Issue	Date
01	FIVE CITY COMMENTS	07/10/20

AES OFFICE BUILDING 10440 BENNETT PARKWAY ZIONSVILLE, IN SITE PLAN

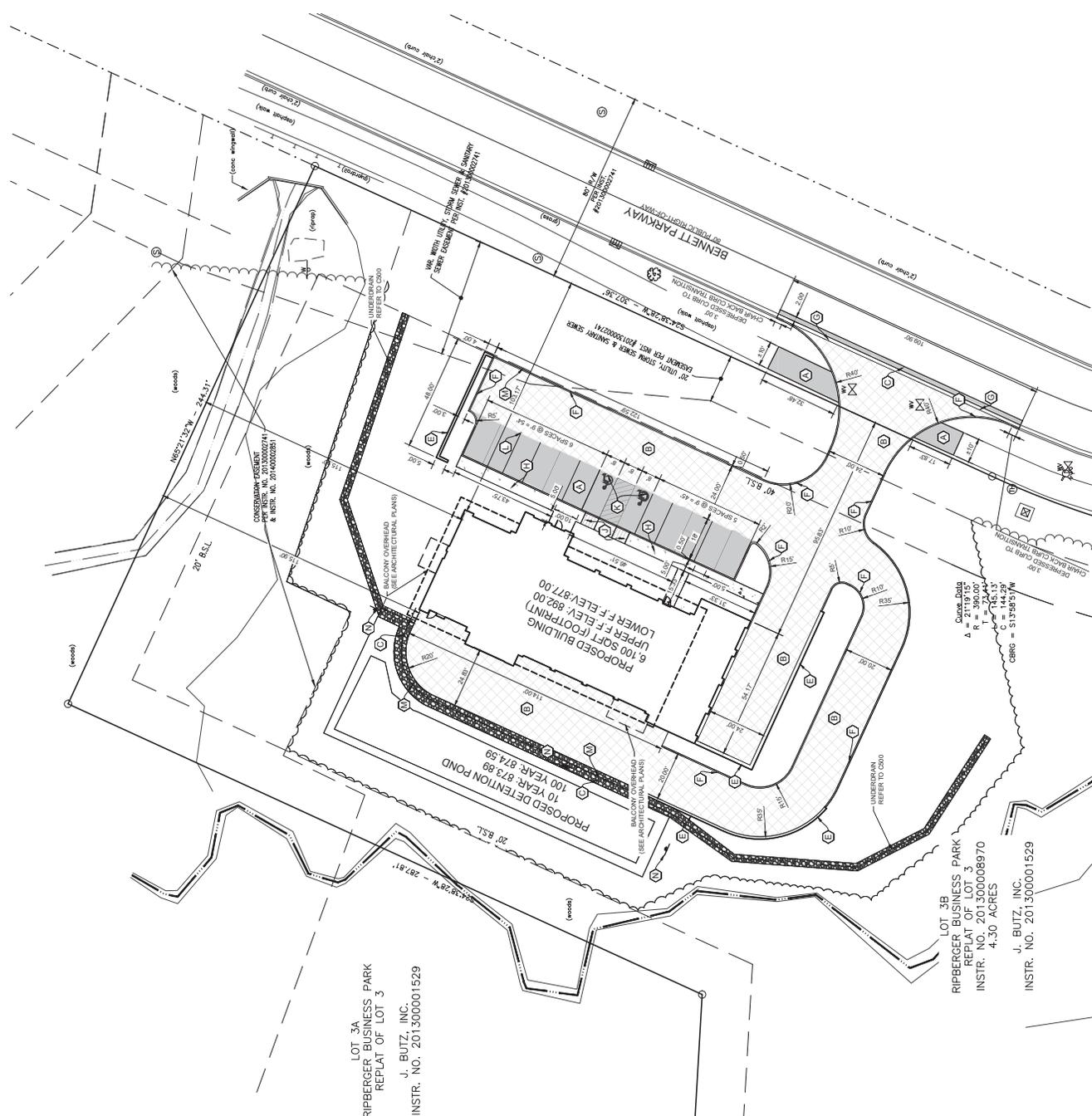
Professional Seal & Signature

Sheet: **C200**
 Date: 07/10/2020
 Scale: 1" = 20'



PROPOSED SITE LEGEND	DESCRIPTION	DETAIL SHEET #
(Symbol)	LIGHT DUTY ASPHALT PAVEMENT	DETAIL 01000
(Symbol)	HEAVY DUTY ASPHALT PAVEMENT	DETAIL 01000
(Symbol)	VEGETATED FILTER STRIP	DETAIL 02001
(Symbol)	CONCRETE SURFACE	DETAIL 02000
(Symbol)	RETAINING WALL	STRUCTURAL PLANS
(Symbol)	#4 CONCRETE CURB	DETAIL 04000
(Symbol)	SEWERED CURB	DETAIL 04000
(Symbol)	CONCRETE CURB AND WALK	DETAIL 04000
(Symbol)	ACCESSIBLE RAMP	DETAIL 04000
(Symbol)	ACCESSIBLE PARKING DETAIL	DETAIL 04000
(Symbol)	TRAMPING STRIP	DETAIL 04000
(Symbol)	DEFLECTION DETENTION WARNING SIGN	DETAIL 10000

- SITE LAYOUT NOTES:**
1. ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY, OR LOCAL REQUIREMENTS. PROVIDER HAS JURISDICTION.
 2. ALL PARKING STRIPES ARE TO BE PAINTED WHITE, UNLESS OTHERWISE NOTED ON THE PLANS. DETAILS ON SPECIFICATIONS.
 3. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT OR FACE OF CURB, WHERE APPLICABLE. ALL DIMENSIONS SHALL BE APPROXIMATE.
 4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS DURING THE ENTIRE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
 5. PROVIDE SMOOTH TRANSITION FROM NEWLY PAVED AREAS TO EXISTING AREAS AS SHOWN. THE EDGE OF PAVEMENT SHALL BE FREE OF ALL LOOSE BODIES. THE EDGE OF ALL AREAS WHERE NEW ASPHALT PAVEMENT IS INDICATED TO ADJACENT EXISTING AREAS SHALL BE SEEDED AND/OR SOAKED AFTER FINISH GRADING UNLESS OTHERWISE NOTED OTHERWISE.
 6. ALL EXCAVATED AREAS TO BE SEEDED AND/OR SOAKED AFTER FINISH GRADING UNLESS OTHERWISE NOTED OTHERWISE.
 7. ALL UTILITY TRENCHES SHALL BE COMPLETELY BACKFILLED WITH COMPACTED SUBGRADE.
 8. ALL UTILITY TRENCHES WITHIN 3 FEET OF PAVEMENT SHALL BE COMPLETELY BACKFILLED WITH COMPACTED SUBGRADE.
 9. ALL LAND INDICATED SHALL BE CONSTRUCTED AS CIRCULAR OR ARCS.



LOT 3A
 RIPBERGER BUSINESS PARK
 REPLAT OF LOT 3
 J. BUTZ, INC.
 INSTR. NO. 201300001529

LOT 3B
 RIPBERGER BUSINESS PARK
 REPLAT OF LOT 3
 INSTR. NO. 201300008970
 4.30 ACRES
 J. BUTZ, INC.
 INSTR. NO. 201300001529





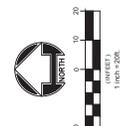
CURRAN ARCHITECTURE
 7519 LAYTON LOOP E DR
 INDIANAPOLIS, IN 46216
 317.288.0881
 http://curran-architect.com

No.	Revised/Issue	Date
01 <td></td> <td>01/10/20</td>		01/10/20

AES OFFICE BUILDING 10440 BENNETT PARKWAY ZIONSVILLE, IN MASS GRADING EROSION CONTROL PLAN

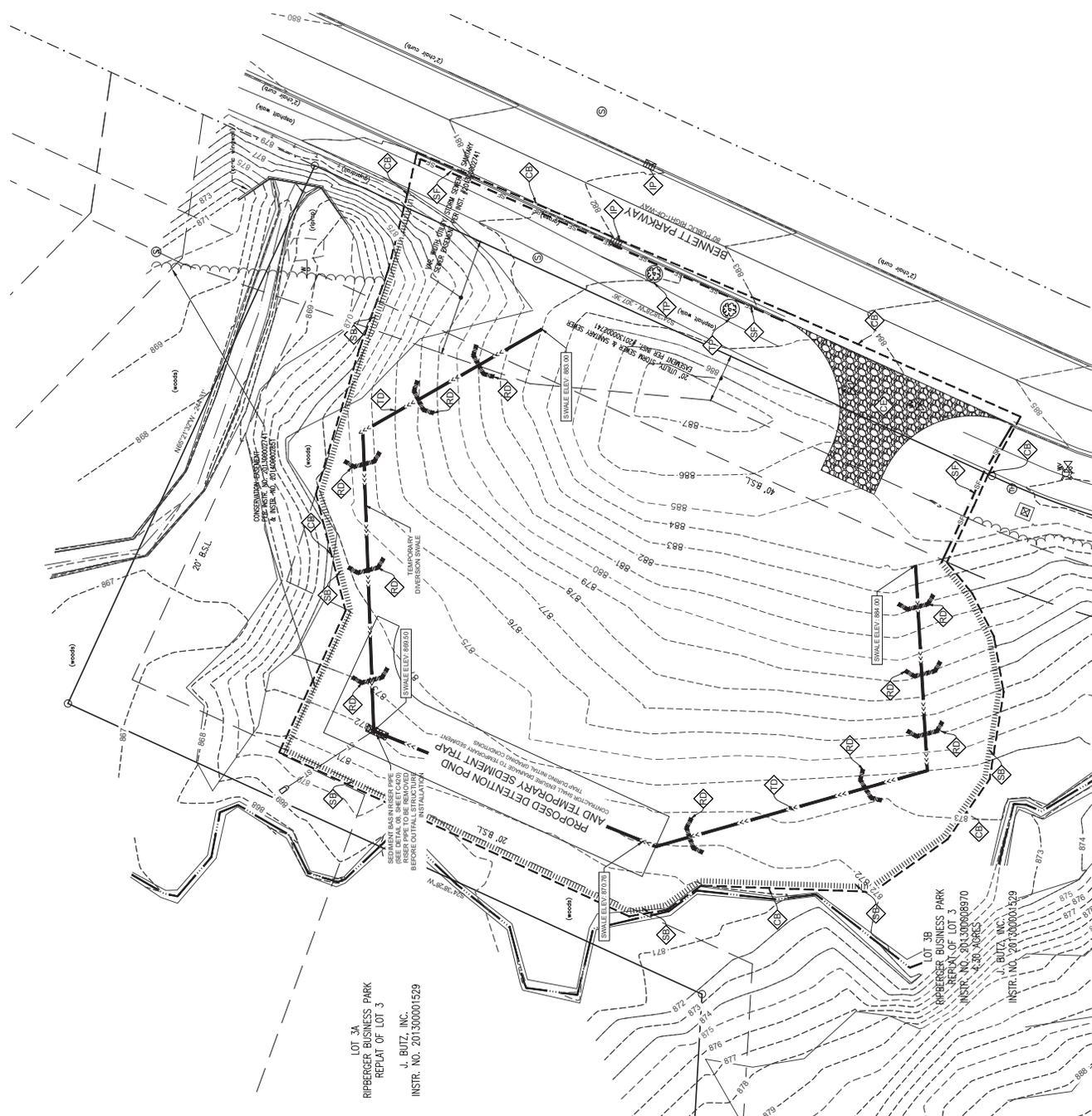
Professional Seal & Signature

C-400
 State: IN
 Expires: 01/10/20
 Issue: 01/10/20
 Scale: 1" = 20'



EROSION CONTROL LEGEND:	
DESCRIPTION & CALL SYMBOL	DETAIL REF #
CONSTRUCTION FENCE	ZIONSVILLE STANDARDS
EROSION CONTROL MAT	ZIONSVILLE STANDARDS
PROPOSED PERAP	DETAIL 06-042
CONSTRUCTION STAKED AREA	DETAIL 06-042
CONCRETE WASHOUT AREA	DETAIL 06-042
INSET FINE PROTECTION	DETAIL 06-042
SILT FENCE	ZIONSVILLE STANDARDS
TREE PROTECTION	DETAIL 07-042
CONSTRUCTION BOUNDARY	ZIONSVILLE STANDARDS
STRAW BALE	DETAIL 06-042
TEMPORARY DIVERSION DITCH	DETAIL 06-042
ROCK CHECK DAM	DETAIL 06-042
SCOURED SOIL LOGS	DETAIL 06-042

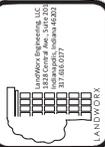
- EROSION CONTROL NOTES:**
- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY OR LOCAL JURISDICTIONS, WHICHEVER HAS JURISDICTION OVER THE PROJECT.
 - LAND ALTERATION WHICH STRIPS THE LAND OF VEGETATION INCLUDING RESPAVING SHALL BE DONE IN WAY THAT WILL MINIMIZE EROSION.
 - CONSTRUCTION SHALL BE SCHEDULED TO OCCUR DURING PERIODS OF LOW RAINFALL. THE ALL NECESSARY PRELIMINARY WORK SHALL BE COMPLETED PRIOR TO THE START OF CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE INSTALLED IMMEDIATELY UPON THE START OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 - SEDIMENT LAYER SHALL BE INSTALLED BY EROSION CONTROL PRACTICES AS NEEDED TO PREVENT SEDIMENT FROM ENTERING ADJACENT AREAS. SEDIMENT SHALL BE COLLECTED AND REDISTRIBUTED ON SITE AFTER EACH INFILL EVENT, AND AT LEAST AFTER FINAL GRADING OR AS SOON AS POSSIBLE.
 - ALL EXISTING STRUCTURES, FENCES, TREES AND ETC. WITHIN CONSTRUCTION AREA SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 - THE DRAINAGE OF THE AREA SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE DRAINAGE SYSTEM SHALL BE INSTALLED AND OPERATIONAL PRIOR TO THE START OF CONSTRUCTION. THE DRAINAGE SYSTEM SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 - TOPSOIL REPLACEMENT SHALL TAKE PLACE FROM MARCH 1 TO OCTOBER 31. TOPSOIL REPLACEMENT SHALL TAKE PLACE FROM MARCH 1 TO OCTOBER 31. TOPSOIL REPLACEMENT SHALL TAKE PLACE FROM MARCH 1 TO OCTOBER 31.
 - EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONSTRUCTION MANAGER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE EROSION CONTROL MEASURES. THE CONSTRUCTION MANAGER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE EROSION CONTROL MEASURES.
 - THE CONSTRUCTION MANAGER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE EROSION CONTROL MEASURES. THE CONSTRUCTION MANAGER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE EROSION CONTROL MEASURES.
 - ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED BY THE INSPECTOR.



LOT 3A
 BRIBERGER BUSINESS PARK
 REPEAT OF LOT 3
 J. BUTZ, INC.
 INSTR. NO. 201300001529

LOT 3B
 BRIBERGER BUSINESS PARK
 REPEAT OF LOT 3
 INSTR. NO. 201300001570
 J. BUTZ, INC.
 INSTR. NO. 201300001529

Exhibit 5



LANDWORK ENGINEERING, LLC
 7519 LAYTON LOOP E DR
 INDIANAPOLIS, IN 46216
 317.286.0881
 http://curran-architecture.com

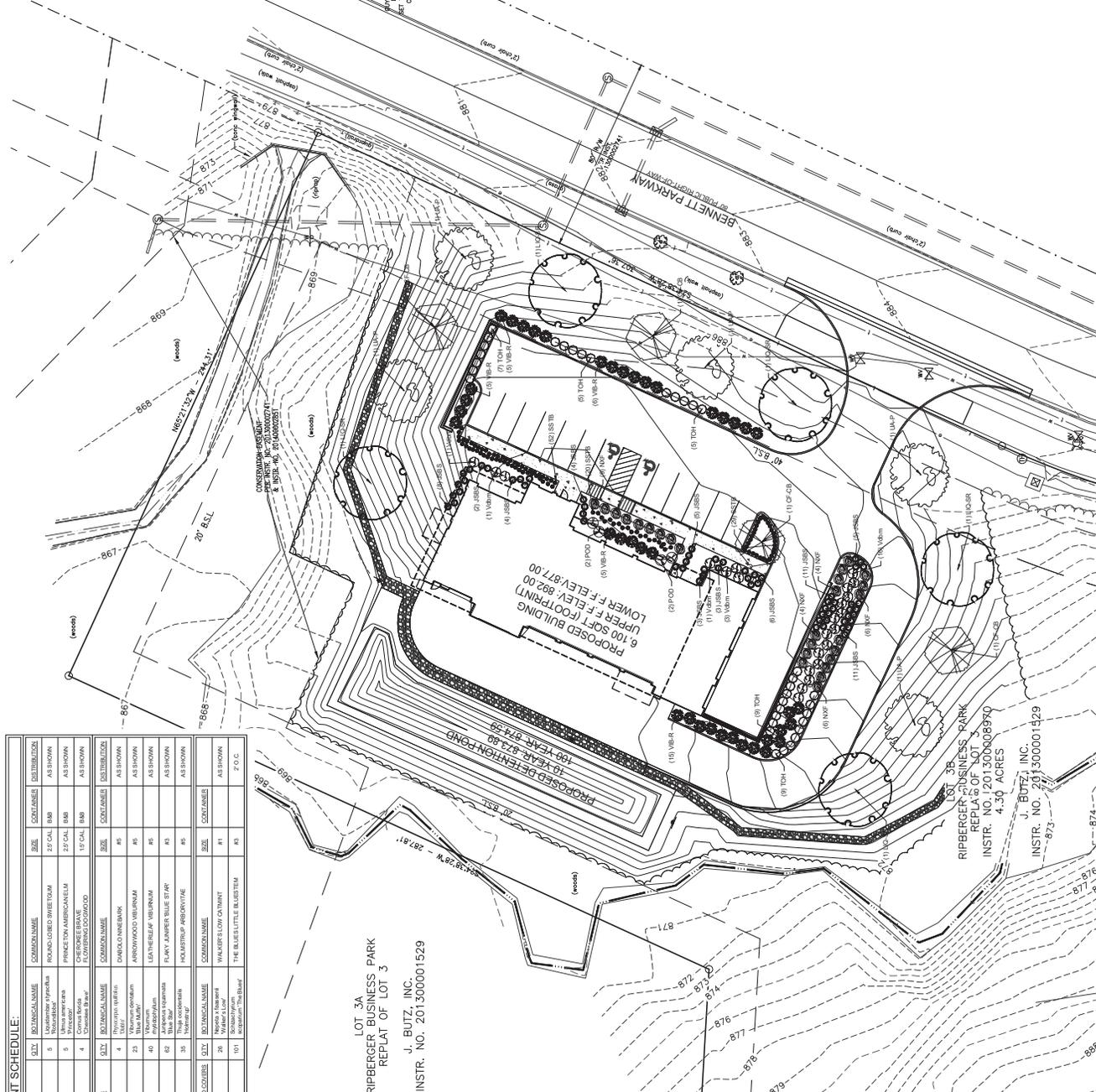
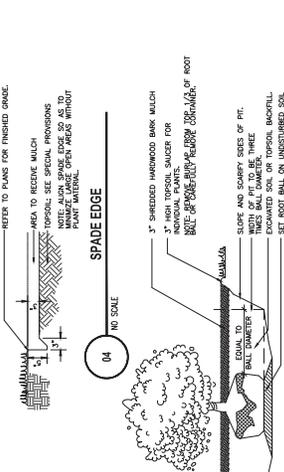
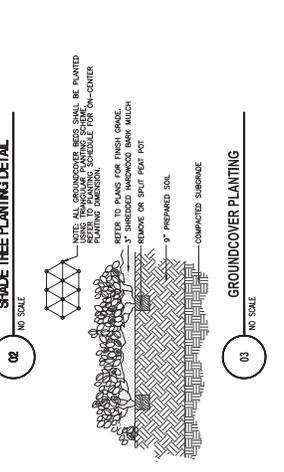
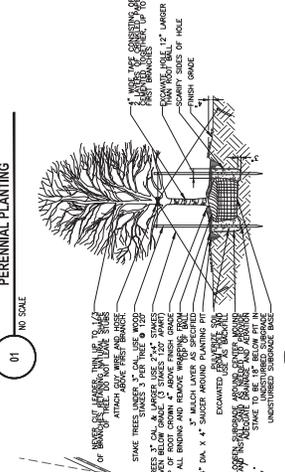
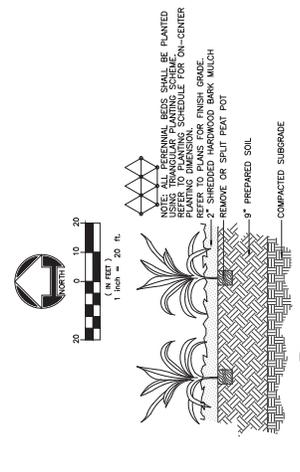
NO.	REVISION/ISSUE	DATE
01	FINAL CITY COMMENTS	07/20/20

AES OFFICE BUILDING 10440 BENNETT PARKWAY ZIONSVILLE, IN LANDSCAPE PLAN

PROFESSIONAL SEAL & SIGNATURE

PROFESSIONAL SEAL & SIGNATURE

STATE OF INDIANA
 PROFESSIONAL ENGINEER
 NO. 491000003
 EXPIRES 12/31/2023
C600



PLANT SCHEDULE:

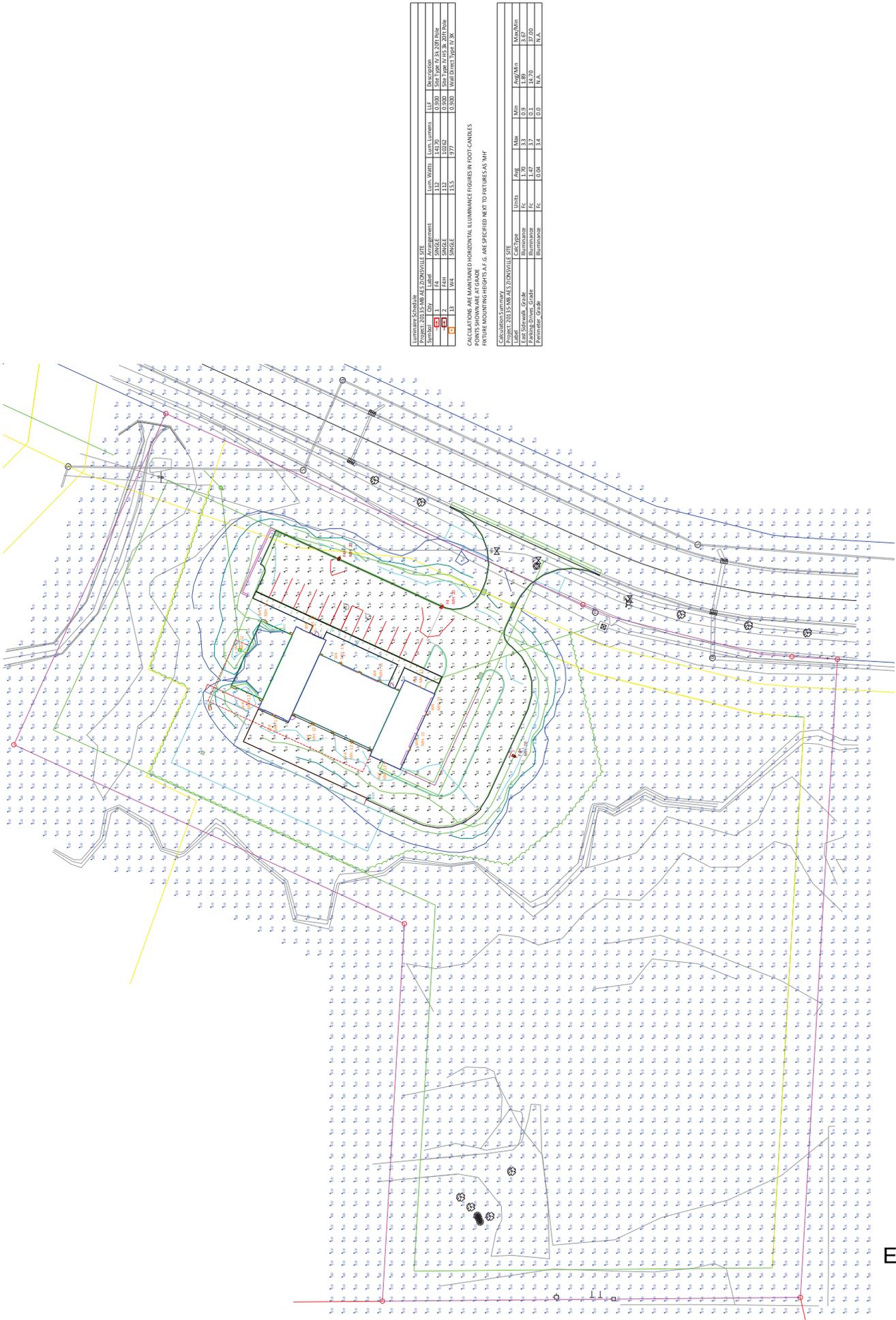
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINERS	DISTRIBUTION
UBA	6	Lonicera spicata	ROUND LOBED HONEYSUCKLE	22 CAL	50B	AS SHOWN
UBP	5	Prunella americana	PRAIRIE ROSE	22 CAL	50B	AS SHOWN
CFZSB	4	Chamaelirium luteum	CHAMAELIRIUM	15 CAL	50B	AS SHOWN
BARBERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINERS	DISTRIBUTION
POD	4	Prunella americana	PRAIRIE ROSE	AS SHOWN	AS SHOWN	AS SHOWN
UBR	23	Ulmus americana	AMERICAN ELM	AS SHOWN	AS SHOWN	AS SHOWN
UBR	40	Ulmus americana	AMERICAN ELM	AS SHOWN	AS SHOWN	AS SHOWN
UBR	40	Ulmus americana	AMERICAN ELM	AS SHOWN	AS SHOWN	AS SHOWN
UBR	40	Ulmus americana	AMERICAN ELM	AS SHOWN	AS SHOWN	AS SHOWN
SHRUB COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINERS	DISTRIBUTION
UBR	26	Ulmus americana	AMERICAN ELM	AS SHOWN	AS SHOWN	AS SHOWN
UBR	101	Ulmus americana	AMERICAN ELM	AS SHOWN	AS SHOWN	AS SHOWN

LOT 3A
 RIPPERGER BUSINESS PARK
 REPLAT OF LOT 3
 J. BUTZ, INC.
 INSTR. NO. 201300001529

LOT 3B
 RIPPERGER BUSINESS PARK
 REPLAT OF LOT 3
 INSTR. NO. 201300008970
 4.30 ACRES
 J. BUTZ, INC.
 INSTR. NO. 201300001429

Exhibit 5





LUMINAIRE SCHEDULE					
Symbol	City	Light	Arrangement	Lum. Lumens	LF Description
1	2	241	SINGLE	112	0-500 SCLTYPE IV/15 B. 241 Pole
2	13	N/A	SINGLE	155	0-500 WIDE DUCT TYPE IV 2K

Calculations are based on horizontal illuminance figures in foot-candles. Points shown are at grade. Future mounting heights if applicable are specified next to fixtures as 'MH'.

CALCULOUS SUMMARY							
Light	City	Height	Units	Avg	Max	Min	Avg/Min
Parking Drive, Grade	2	14.7	3.7	0.1	14.70	0.0	37.00
Perimeter, Grade	13	0.0	3.4	0.0	N/A	N/A	N/A

DISCLAIMER:
 The information contained herein is for informational purposes only and does not constitute an offer of any financial product or service. It is not intended to be used as a substitute for professional advice. The user of this information is advised to consult with their respective legal, tax, and financial advisors. The user of this information is advised to consult with their respective legal, tax, and financial advisors. The user of this information is advised to consult with their respective legal, tax, and financial advisors.

Project		Catalog #		Type	
Prepared by		Notes		Date	



Lumark

PRV / PRV-XL Prevail LED

Area / Site Luminaire

Typical Applications

Outdoor • Parking Lots • Walkways • Roadways • Building Areas

Interactive Menu

- Ordering Information [page 2](#)
- Mounting Details [page 3](#)
- Optical Configurations [page 3](#)
- Product Specifications [page 3](#)
- Energy and Performance Data [page 4](#)
- Control Options [page 5](#)

Product Certifications



Product Features

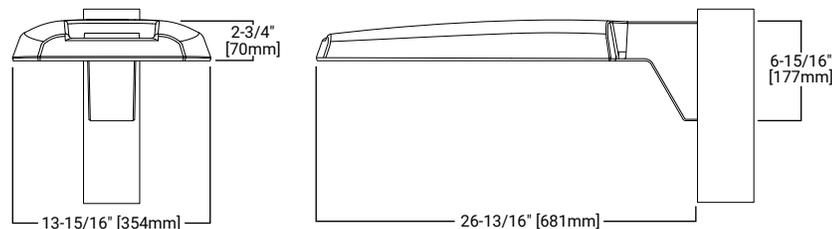


Quick Facts

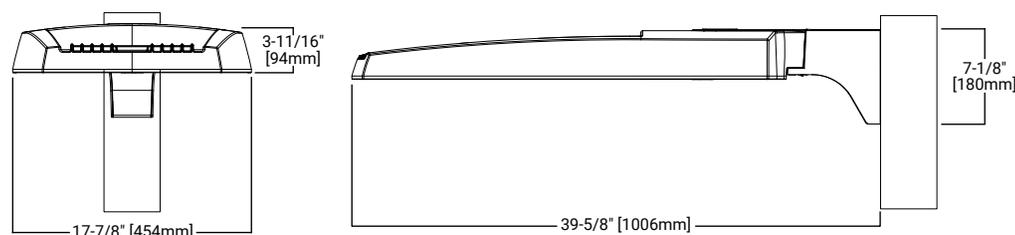
- Lumen packages range from 7,100 - 48,600 lumens (50W - 350W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 148 lumens per watt
- Energy and maintenance savings up to 85% versus HID solutions
- Standard universal quick mount arm with universal drill pattern

Dimensional Details

Prevail



Prevail XL



Project		Catalog #		Type	
Prepared by		Notes		Date	



Lumière

EON 303-W1-LEDB2

Ceiling / Wall Mount
Direct / Indirect

Typical Applications

- Hospitality • Commerical Landscape • Outdoor Area/Site • Residential
- Architectural

Interactive Menu

- Order Information page 2
- Product Specifications page 2
- Lumen Maintenance page 3
- Product Warranty

Product Certification



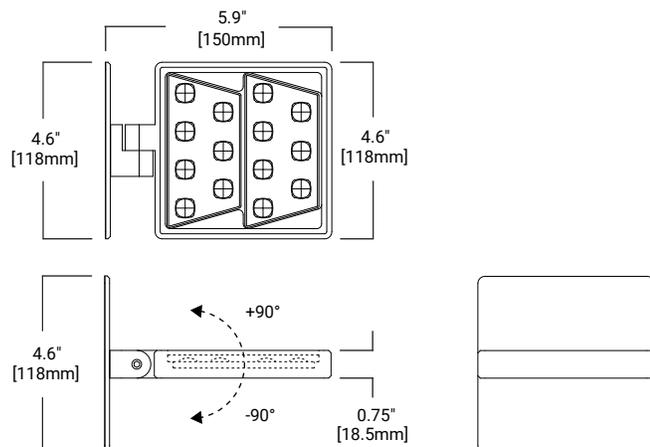
Product Features



Top Product Features

- Adjustable direct or indirect luminaire - 180° Adjustable at knuckle
- 2700K, 3000K or 3500K or 4000K Color Temperature and Amber (585-595nm)
- Forward/Lateral Throw or Flood Optics with diffuse glass sealed lens
- Patented AccuLED Optics™ System
- Universal Input LED Driver Included (120 - 277V, 50/60 Hz)
- ELV or 0-10 Dimming

Dimensions



TECHNICAL DATA
50°C Maximum Temperature Rating
External Supply Wiring 90°C Minimum



ZIONSVILLE

FOR ALL THE RIGHT REASONS

To: Wayne DeLong, Director of Planning and Economic Development
 From: Beam, Longest & Neff, LLC., Town Engineer
 Renee Goff, P.E.
 Date: July 15, 2020

PROJECT DESCRIPTION

Project	Name	AES Office Building	
	Location	10440 Bennett Parkway, Zionsville, Indiana 46077	
	Petitioner	Leslie Steinert, LandWorx Engineering	
	Submittal	Submittal #1	
Documents Reviewed	Document Name		Documents Transmitted
	Development Plan App.		June 17, 2020
	Location Map		June 17, 2020
	Development/Construction Plans		June 17, 2020
	Technical Information Report		June 17, 2020
	O&M Manual		June 17, 2020
	Landscape Plan		June 24, 2020
	Lighting Plan		June 22, 2020
Zoning	Current	Urban I-2	
	Proposed	Urban I-2	
Land Use	Current	Wooded	
	Proposed	Office Building with Storage/Walkout Basement	
Requested Waivers		Architectural and Building Materials	

A review was completed on the most recent submittal for the project. The following comments were noted.

I. DRAINAGE REPORT

- A. Drainage Report must be signed and sealed by the Licensed Professional Engineer of Record.
 - 1. Please seal and sign the next submittal.

- B. Submit the required current certificate of insurance.

II. OPERATION AND MAINTENANCE MANUAL

- A. Please add call outs for the two (2) BMPs to Sheet C300 that is included in the report.
 - 1. Was not able to locate the callouts on Sheet C300. Please highlight. Highlighting can be removed after review is complete.
- B. Details included in the O&M Manual should be updated to the most current details included in the 2017 Stormwater Technical Manual.

III. DEVELOPMENT/CONSTRUCTION PLANS

- A. A portion of the paved parking area, landscaping, storm pipe and structure, and retaining wall is located within an existing easement. Provide proof that easement holder has accepted this encroachment.
- B. Emergency routing exhibit must be provided. Refer to the Drainage System Overflow Design, Chapter 4, Section M of the 2017 Stormwater Technical Standards Manual.
 - 1. An actual emergency routing plan must be included in the plan set with arrows depicting approximate location of emergency stormwater flow routing.
- C. Pipe outfall into the adjacent waterway is not shown on the plans. Update to include this information. (C500)
 - 1. Pipe outfall location was added. However, it appears to discharge a distance away from the stream and overland flow across another property to discharge to the stream.

IV. GENERAL

- A. Include the appropriate Stormwater Permit Application with next submittal.

**TOWN OF ZIONSVILLE PLAN COMMISSION
BOONE COUNTY, INDIANA**

REQUEST FOR WAIVER OF ARCHITECTURAL DESIGN REQUIREMENTS

FINDINGS

Architectural Design Findings. The Town may grant a Waiver of the Architectural Design Requirements of the Michigan Road Overlay and approve an architectural design which does not incorporate the overall theme or incorporate the architecture, design and overall aesthetic exterior character of a building consistent with the Georgian, Federal, Greek Revival or Victorian architectural styles upon finding that:

1. The Architectural design represents an innovative use of building materials or design, or site design features which will not be detrimental to the use or value of area properties because:

The site is a wooded lot with significant grade change and the design of a building which plays into the natural setting, using wood, masonry and stone, with a "walk out" lower level is compatible with the site. The site is not adjacent to any architecturally significant or historic buildings so there is no context that would make a Georgian, Federal, Greek Revival or Victorian style building be appropriate on this lot.

2. The proposed building is appropriate when compared to the architecture, design and overall exterior character of other buildings on the site and surrounding sites because:

As noted in #1 above, the site is a wooded lot and the positioning and building design/materials are in keeping with a wholistic design for the site. The surrounding sites are industrial buildings which have no architectural detail to them.

3. The building design is consistent with and compatible with other development located along the street because:

The building is compatible based on it's size and positioning on the lot with the adjacent buildings. The only other building on the street is the Fedex Ground warehouse across the street, and the proposed building's design will not have any impact on that building.

4. The proposed building is consistent with the intent and purpose of this chapter because:

We believe that because this site is not within proximity to any building of Georgian, Federal, Greek Revival or Victorian architectural styles, it would not be appropriate to impose these design requirements on this building. In addition, if the intent of requiring these styles is based on the building fitting in within the context of it's surroundings, the purposeful design of the building and site design would be in context with the natural wooded setting of the property.

DECISION

It is therefore the decision of this body that this Request for a Waiver of Architectural Design Requirements is **APPROVED / DENIED**.

Adopted this _____ day of _____, 20_____.

**TOWN OF ZIONSVILLE PLAN COMMISSION
BOONE COUNTY, INDIANA**

REQUEST FOR WAIVER OF BUILDING MATERIALS DEVELOPMENT REQUIREMENTS

FINDINGS

Building Materials Findings. The Town may grant a Waiver of the Building Materials Development Requirements of the Michigan Road Overlay and approve the use of alternate exterior building materials on any facade of a building upon finding that:

1. The building materials utilized represent an innovative use of said materials which enhance the overall aesthetic exterior character of the building and will not be detrimental to the use or value of area properties because:

The site is a wooded lot with significant grade change and the design of a building which plays into the natural setting, using wood, masonry, fiber cement and stone, with a "walk out" lower level is compatible with the site.

2. The building materials utilized are appropriate when compared to the building materials utilized on other buildings on the site and surrounding sites because:

The buildings on surroundings sites are industrial buildings which are constructed with precast concrete and ribbed metal panels. The use of those materials on this building, which will be used as office space, would not be compatible with this use. The natural building materials are appropriate with the use, and with the natural setting.

3. The building materials utilized are consistent with and compatible with other building materials utilized on, and with the overall exterior character of, other buildings and development located along the street because:

The buildings on surroundings sites are industrial buildings which are constructed with precast concrete and ribbed metal panels, so contextually there is no "character" to be consistent with. The proposed building materials are appropriate with the use of this building and will not have a negative impact on the adjacent properties.

4. The building materials utilized are consistent with the intent and purpose of this chapter because:

The materials are all high quality durable materials requiring little to no maintenance. They are appropriate for the scale, use and setting of the building.

DECISION

It is therefore the decision of this body that this Request for a Waiver of Building Materials Development Requirements is **APPROVED / DENIED**.

Adopted this _____ day of _____, 20_____.

**TOWN OF ZIONSVILLE PLAN COMMISSION
BOONE COUNTY, INDIANA**

**PETITION FOR PLAN COMMISSION APPROVAL
OF A DEVELOPMENT PLAN / MODIFICATION OF DEVELOPMENT PLAN**

FINDINGS

1. The Development Plan/Modification of Development Plan ~~(is)~~ **not** compatible with surrounding land uses because: It is an office use with garage (indoor) storage which is consistent with the area surrounding.
2. The Development Plan/Modification of Development Plan ~~does~~ **does not** demonstrate availability and coordination of water, sanitary sewers, storm water drainage, and other utilities because: these utilities are all available at or adjacent to the subject site with planned capacity for the business park.
3. The Development Plan/Modification of Development Plan ~~does~~ **does not** demonstrate the management of traffic in a manner that creates conditions favorable to health, safety, convenience and the harmonious development of the community because: the site has a single entry for low-impact office use only and is of such a small size to have little impact to surrounding traffic.
4. The Development Plan/ Modification of Development Plan ~~does~~ **does not** utilize building materials and building style compatible with the Zionsville theme because: the proposed building materials will match or be nicer than the surrounding within similar zoning districts.
5. The Development Plan/Modification of Development Plan ~~does~~ **does not** provide for the calculation of storm water runoff because: reference the drainage report in general conformance with Town requirements.
6. The Development Plan/Modification of Development Plan ~~does~~ **does not** provide for current and future right-of-way dedications because: right of way for Bennett Parkway is at full extents per current thoroughfare plan. The site is setback in conformance with rqrmts as well.
7. The Development Plan/Modification of Development Plan ~~does~~ **does not** provide for building setback lines, coverage, and separation; vehicle and pedestrian circulation; parking; landscaping; recreation area or green space; outdoor lighting because: these elements were all considered and designed into the proposed site plan.

DECISION

It is therefore the decision of this body that this Development Plan/Modification of Development Plan is **APPROVED / DENIED.**

Adopted this _____ day of _____, 20____.



Plan Commission (PC)

INITIAL Petition Filings

Docket # : _____

Petitioner: _____

Public Hearing Date: _____

Staff Reports and Petition Packets will be posted with the public meeting agenda at the following location <http://www.zionsville-in.gov/AgendaCenter>

Town of Zionsville
Petition for Development Plan
Approval

Docket Number: 2020-19-DP
AES Office Building

Application Packet
And
General Instructions

Town of Zionsville

Petition for Plan Commission Approval

Office Use Only

Petition No.: 2020-19-DP
Hearing Date: 2020-07-20
Recommendation: _____

1. SITE INFORMATION:

Address of Property: 10440 Bennett Parkway
Existing Use of Property: Undeveloped, vacant land
Proposed Use of Property: Office Building
Current Zoning: Urban I-2 Area in acres: 4.3

2. PETITIONER/PROPERTY OWNER

Petitioner:	Owner (If different from Petitioner):
Name: <u>LandWorx Engineering, LLC</u>	Name: <u>Zann Real Estate Group LLC</u>
Address: <u>1828 Central Ave., Suite 201</u>	Address: <u>4000 W. 106th St.</u>
<u>Indianapolis, IN 46202</u>	<u>Carmel, IN 46032</u>
Phone: <u>317-616-0177</u>	Phone: <u>317-696-7739</u>
Fax: _____	Fax: _____
E-Mail: <u>leslie.steinert@landworxeng.com</u>	E-Mail: _____

3. PETITIONER'S ATTORNEY/CONTACT PERSON AND PROJECT ENGINEER (IF ANY):

Attorney / Contact Person:	Project Engineer / Architect:
Name: <u>Benjamin J. Houle, P.E.</u>	Name: <u>LandWorx Engineering, LLC</u>
Address: <u>1828 Central Ave., Suite 201</u>	Address: <u>1828 Central Ave., Suite 201</u>
<u>Indianapolis, IN 46202</u>	<u>Indianapolis, IN 46202</u>
Phone: <u>317-616-0177</u>	Phone: <u>317-616-0177</u>
Fax: _____	Fax: _____
E-Mail: <u>ben.houle@landworxeng.com</u>	E-Mail: <u>ben.houle@landworxeng.com</u>

4. DETAILED DESCRIPTION OF REQUEST (Check all that apply)

(Describe reason(s) for request / attach additional pages if necessary):

- Development Plan Modification of Development Plan Waiver of Development Requirement(s)
 Termination of Development Plan Modification of Commitments Termination of Commitments

Requesting approval of development plan and waiver of architectural design requirements for an office building.

5. ATTACHMENTS:

- | | |
|--|--|
| <input checked="" type="checkbox"/> Legal description of property | <input type="checkbox"/> Proof of Ownership (copy of Warranty Deed) |
| <input checked="" type="checkbox"/> Owner's Authorization (if petitioner is not the owner) | <input checked="" type="checkbox"/> Copies of the Site Plan (if applicable) |
| <input type="checkbox"/> Statement of Proposed Modification or Termination Of Commitments | <input checked="" type="checkbox"/> Proposed Development Plan / Proposed Modification of Development Plan / Statement of Termination of Development Plan |
| <input checked="" type="checkbox"/> Proposed Findings (if a Development Plan) | |
| <input type="checkbox"/> Road Impact Calculation Form | |

The undersigned, having been duly sworn on oath states the above information is true and correct as (s) he is informed and believes. Further, the applicant understands that this project may be assigned Engineering review fees, which are payable upon invoicing. Road Impact Fees are payable upon Improvement Location Permit release.

Signature of Owner or Attorney for Owner: [Signature]

Date: 6/16/2020

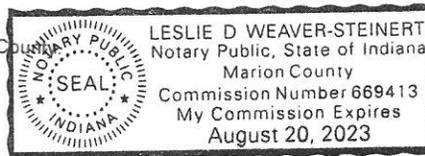
State of Indiana
County of Marion SS:

Subscribed and sworn to before me this 16th day of June 2020
[Signature] Notary Public Signature Leslie D Weaver Steiner Notary Public Printed

My commission expires August 20, 2023

My county of residence is Marion

My Commission No. is 669413



PROCEDURES AND REQUIREMENTS:

1. A complete Petition for Plan Commission Approval ("petition") must be submitted by **3:00 PM** a minimum of **31 days** prior to the initial hearing before the Plan Commission.
2. **Only complete Petitions will be placed on the agenda for the next Plan Commission meeting.** If a Petition is incomplete 31 days prior to the next Plan Commission meeting, the Petition will not be placed on an agenda until the Petitioner submits a complete Petition.
3. **Fifteen sets** of the following information must be submitted, with the notarized Petition, for internal staff review:
 - Legal description of property (Metes and bounds description must include a perimeter survey, drawn to scale – or – recorded subdivision legal description must include lot number, section number, subdivision name, either the plat book number of the recorded instrument number and a copy of the plat map.)
 - Proof of Ownership (copy of deed)
 - Owner's Authorization (if Petitioner is not the owner)
 - Site Plan (if applicable)
 - Proposed findings (if a Development Plan)
 - Statement of Modification or Termination of Commitments (if proposed)
 - Proposed Development Plan / Proposed Modification of Development Plan (if proposed)
 - Draft of Proposed Legal Notice
 - Application Fee: \$ _____ (Checks should be payable to *Town of Zionsville*)

PUBLIC HEARING NOTIFICATION:

Notice of Public Hearing for Plan Commission Approval is to be completed as set forth in the Zoning Ordinance and Rules of Procedure for the Plan Commission. The procedures relating to notification of public hearings that are contained in this Packet are provided for convenience purposes only.

1. Approval of Notice: The Petitioner shall submit a proposed Notice of Public Hearing with its petition for review and approval by the Secretary of the Plan Commission.
2. Notice by Publication: Petitioner shall submit the approved Notice of Public Hearing to the Zionsville Times Sentinel to be **published at least 10 days prior** to the Public Hearing. **The petitioner shall bear the cost of publishing the Legal Notice.** The Secretary of the Plan Commission will provide the Petitioner with the filing and publication deadlines for the Legal Notice.
3. Notice by Mailing: The Petitioner is to send the approved Notice of Public Hearing to each interested party via certified mail with return receipt requested at least ten (10) days prior to the Public Hearing. Generally, all owners of adjoining parcels to a depth of one (1) ownership surrounding the perimeter of the area described in the Petition, and any owners of property within the area included in the Petition who are not Petitioners are to be notified. Please review the Rules of Procedure of the Plan Commission to ensure proper notification is given. The names and addresses of Interested Parties should be obtained from the Boone County Auditor's Office.
4. Affidavit of Notice: At least three (3) days prior to the Public Hearing, an Affidavit of Notice of Public Hearing must be completed and submitted to the Secretary of the Plan Commission. Copies of all "Receipt for Certified Mail" (white slips) shall be filed with the Affidavit of Notice of Public Hearing. The originals of the "Domestic Return Receipts" (green cards) shall be filed with the Secretary upon the later of: the public hearing or receipt by the Petitioner.

PETITION REVIEW PROCEDURES

1. An Internal Review Meeting is typically held the second Tuesday of the month, after the filing deadline, to evaluate the technical aspects of the project and completeness of the petition. Petitioner/applicant may need to attend these Internal Review meetings; meeting times will be assigned to each project/petitioner on the filing deadline date.
2. Once the Petition is complete, it will be placed on the next available Plan Commission agenda. The petitioner shall be responsible for delivering the Legal Notice (after it has been approved) to the Zionsville Times Sentinel for publication and for sending the Legal Notice to all Interested Parties.
3. The Petition and all supporting documentation will be forwarded to the Plan Commission members. *Please supply ten (10) packets of the supporting documentation for this distribution.*
4. The Secretary, members of the Plan Commission's staff or advisors to the Plan Commission may submit a written report, stating any facts concerning the physical characteristics of the area involved in the Petition, together with a recital of surrounding land use and public facilities available to service the area, or other pertinent facts. A copy of such statement shall be made available to the Petitioner and all remonstrators of record, if any.
5. The Plan Commission typically meets on the third Monday or each month at 7:00 p.m. in the Town Hall located at 1100 West Oak Street, Zionsville, Indiana 46077.
6. The Petitioner or remonstrators may request continuation of the Public Hearing at or one week prior to the Plan Commission meeting.
7. The Petitioner, Petitioner's attorney, or someone authorized by the Petitioner must be present at the Public Hearing to make a presentation of the Petition to the Plan Commission.
8. At the Public Hearing, the Plan Commission may continue the Public Hearing or may approve or deny the Petition.



7/13/20

AES OFFICE BUILDING :: BENNETT PARKWAY

The proposed headquarters office building for AES Restaurant Group on Bennett Parkway has been designed to complement and be integrated into the site. The building's positioning allows for prominent visibility from the road and easy access to parking for guests. It allows the existing trees to the north and west to create a backdrop for the building. By placing the building in this manner, we are able to maximize the views from within the building to the woods and creek to the north and west, and also screening the private parking areas from view.

The building materials used on the building are brick veneer, cast stone, natural stone veneer, fiber cement panels, and standing seam roofing. The laminated timber roof framing members are also visible as they create the overhangs for the single slope roof. There will be a small section of EIFS used above the 1st floor private parking area where visibility is minimal. We feel that these materials are consistent with the materials permitted within the Michigan Road Overlay and are of high quality and durable. In addition, they all are complementary to the intent of creating a building that fits in with the natural setting of this site.

The building's architectural design has a low profile with a single slope roof rising up from the parking lot to the woods. This minimizes the impact of the building visually as guests approach. The front of the building is highlighted by a tower element which identifies the entry. This element extends the depth of the building, creating a focal point towards the woods when inside. As the roofline elevates from front to back, the interior of the space opens as well. The ceiling line follows the roof line allowing for tall windows on the back side, taking in views of the woods and creek, and providing for abundant indirect natural light. The private enclosed parking areas are positioned so that vehicles are not seen from within the building to not spoil the view, and to minimize the appearance of overhead doors from the road. While this building design is not in the styling of Georgian, Federal, Greek Revival or Victorian architecture, it is designed with the site topography, views and natural setting in mind. Those previously mentioned styles would not do this site justice. Just as this building would not be appropriate on Main Street downtown, we are confident that our design is much more appropriate for the context of this site than those historic styles.

OWNER'S AUTHORIZATION

The undersigned, Jay Bedrosian, COO, being the owner of the property commonly known as 10440 Bennett Parkway, hereby authorize(s) LandWorx Engineering, LLC to file a Petition for (zone map change / variance / special exception / subdivision plat approval / other) for the aforementioned property.

Zann Real Estate Group LLC
(company name)

(owner signature)

By: Jay Bedrosian
(authorized signature)

- or - _____
(print owner name)

Jay Bedrosian
(printed name)

Chief Operating Officer
(title)

State of Ohio

County of Montgomery) SS:

Subscribed and sworn to before me this day of June 3, 2020.

Rebecca M
Notary Public Signature

Rebecca Griffin
Notary Public Printed

My commission expires 2/3/2024

My county of residence is Montgomery County.

My Commission No. is _____



REBECCA GRIFFIN, Notary Public
In and for the State of Ohio
My Commission Expires Feb 3, 2024

**NOTICE OF PUBLIC HEARING
BY THE TOWN OF ZIONSVILLE PLAN COMMISSION**

Notice is hereby given of a Public Hearing to be held by the Town of Zionsville Plan Commission

On Monday, June 15, 2020 at 7:00 p.m. in the Zionsville Town Hall, 1100 West
(DATE OF PUBLIC HEARING)

Oak Street, Zionsville, Indiana 46077 to consider the following:

PLAN COMMISSION APPROVAL for a (Development Plan Modification of a Development Plan

Waiver of Development Requirement(s) Termination of Development Plan

Modification of Commitments Termination of Commitments) to allow for:

Approval for an office building located at 10440 Bennett Parkway and requesting

(BRIEF DESCRIPTION OF REQUEST)

waivers to architectural design requirements.

The property involved commonly known as: 10440 Bennett Parkway
(COMMON ADDRESS)

is currently zoned to the Urban I-2 zoning district, and is legally described as:

Lot 3B, Bennett Parkway Extension, Zionsville, Indiana.

A copy of the Petition for Plan Commission Approval and all plans pertaining thereto are on file and may be examined prior to the Public Hearing from 8:00 a.m. to 4:00 p.m. Monday through Friday, except for holidays, in the Office of Planning and Development at the Town Hall, 1100 West Oak Street, Zionsville, Indiana 46077. Written comments in support of or in opposition to the Petition for Plan Commission Approval are filed with the Secretary of the Town of Zionsville Plan Commission prior to the Public Hearing will be considered. The Public Hearing is open to the public. Oral comments to the Petition for Plan Commission Approval will be heard at the Public Hearing.

The Public Hearing may be continued from time to time as may be found necessary.

Upon request, the Town of Zionsville will provide auxiliary aids and services. Please provide advance notification to the Technology Department, assistance@zionsville-in.gov or 317-873-1577, to ensure the proper accommodations are made prior to the meeting.

(President)

(Secretary)

PUBLISH: Newspaper of General Circulation

**TOWN OF ZIONSVILLE PLAN COMMISSION
BOONE COUNTY, INDIANA**

**PETITION FOR PLAN COMMISSION APPROVAL
OF A DEVELOPMENT PLAN / MODIFICATION OF DEVELOPMENT PLAN**

FINDINGS

1. The Development Plan/Modification of Development Plan ~~(is)~~ **not** compatible with surrounding land uses because: It is an office use with garage (indoor) storage which is consistent with the area surrounding.
2. The Development Plan/Modification of Development Plan ~~does~~ **does not** demonstrate availability and coordination of water, sanitary sewers, storm water drainage, and other utilities because: these utilities are all available at or adjacent to the subject site with planned capacity for the business park.
3. The Development Plan/Modification of Development Plan ~~does~~ **does not** demonstrate the management of traffic in a manner that creates conditions favorable to health, safety, convenience and the harmonious development of the community because: the site has a single entry for low-impact office use only and is of such a small size to have little impact to surrounding traffic.
4. The Development Plan/ Modification of Development Plan ~~does~~ **does not** utilize building materials and building style compatible with the Zionsville theme because: the proposed building materials will match or be nicer than the surrounding within similar zoning districts.
5. The Development Plan/Modification of Development Plan ~~does~~ **does not** provide for the calculation of storm water runoff because: reference the drainage report in general conformance with Town requirements.
6. The Development Plan/Modification of Development Plan ~~does~~ **does not** provide for current and future right-of-way dedications because: right of way for Bennett Parkway is at full extents per current thoroughfare plan. The site is setback in conformance with rqrmts as well.
7. The Development Plan/Modification of Development Plan ~~does~~ **does not** provide for building setback lines, coverage, and separation; vehicle and pedestrian circulation; parking; landscaping; recreation area or green space; outdoor lighting because: these elements were all considered and designed into the proposed site plan.

DECISION

It is therefore the decision of this body that this Development Plan/Modification of Development Plan is **APPROVED / DENIED.**

Adopted this _____ day of _____, 20____.

**TOWN OF ZIONSVILLE PLAN COMMISSION
BOONE COUNTY, INDIANA**

REQUEST FOR WAIVER OF ARCHITECTURAL DESIGN REQUIREMENTS

FINDINGS

Architectural Design Findings. The Town may grant a Waiver of the Architectural Design Requirements of the Michigan Road Overlay and approve an architectural design which does not incorporate the overall theme or incorporate the architecture, design and overall aesthetic exterior character of a building consistent with the Georgian, Federal, Greek Revival or Victorian architectural styles upon finding that:

1. The Architectural design represents an innovative use of building materials or design, or site design features which will not be detrimental to the use or value of area properties because:

The site is a wooded lot with significant grade change and the design of a building which plays into the natural setting, using wood, masonry and stone, with a "walk out" lower level is compatible with the site. The site is not adjacent to any architecturally significant or historic buildings so there is no context that would make a Georgian, Federal, Greek Revival or Victorian style building be appropriate on this lot.

2. The proposed building is appropriate when compared to the architecture, design and overall exterior character of other buildings on the site and surrounding sites because:

As noted in #1 above, the site is a wooded lot and the positioning and building design/materials are in keeping with a wholistic design for the site. The surrounding sites are industrial buildings which have no architectural detail to them.

3. The building design is consistent with and compatible with other development located along the street because:

The building is compatible based on it's size and positioning on the lot with the adjacent buildings. The only other building on the street is the Fedex Ground warehouse across the street, and the proposed building's design will not have any impact on that building.

4. The proposed building is consistent with the intent and purpose of this chapter because:

We believe that because this site is not within proximity to any building of Georgian, Federal, Greek Revival or Victorian architectural styles, it would not be appropriate to impose these design requirements on this building. In addition, if the intent of requiring these styles is based on the building fitting in within the context of it's surroundings, the purposeful design of the building and site design would be in context with the natural wooded setting of the property.

DECISION

It is therefore the decision of this body that this Request for a Waiver of Architectural Design Requirements is **APPROVED / DENIED**.

Adopted this _____ day of _____, 20_____.

**TOWN OF ZIONSVILLE PLAN COMMISSION
BOONE COUNTY, INDIANA**

REQUEST FOR WAIVER OF BUILDING MATERIALS DEVELOPMENT REQUIREMENTS

FINDINGS

Building Materials Findings. The Town may grant a Waiver of the Building Materials Development Requirements of the Michigan Road Overlay and approve the use of alternate exterior building materials on any facade of a building upon finding that:

1. The building materials utilized represent an innovative use of said materials which enhance the overall aesthetic exterior character of the building and will not be detrimental to the use or value of area properties because:

The site is a wooded lot with significant grade change and the design of a building which plays into the natural setting, using wood, masonry, fiber cement and stone, with a "walk out" lower level is compatible with the site.

2. The building materials utilized are appropriate when compared to the building materials utilized on other buildings on the site and surrounding sites because:

The buildings on surroundings sites are industrial buildings which are constructed with precast concrete and ribbed metal panels. The use of those materials on this building, which will be used as office space, would not be compatible with this use. The natural building materials are appropriate with the use, and with the natural setting.

3. The building materials utilized are consistent with and compatible with other building materials utilized on, and with the overall exterior character of, other buildings and development located along the street because:

The buildings on surroundings sites are industrial buildings which are constructed with precast concrete and ribbed metal panels, so contextually there is no "character" to be consistent with. The proposed building materials are appropriate with the use of this building and will not have a negative impact on the adjacent properties.

4. The building materials utilized are consistent with the intent and purpose of this chapter because:

The materials are all high quality durable materials requiring little to no maintenance. They are appropriate for the scale, use and setting of the building.

DECISION

It is therefore the decision of this body that this Request for a Waiver of Building Materials Development Requirements is **APPROVED / DENIED**.

Adopted this _____ day of _____, 20_____.

10440 Bennett Parkway, Zionsville, IN

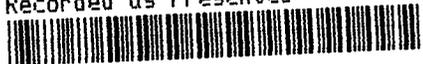
Legal Description

Lot 3B in the Replat of Ripberger Business Park - Lot 3, per plat thereof, recorded as Instrument Number 201300008970 in the Office of the Recorder of Boone County, Indiana.

(H)
25.00
Indiana
Jeffrey Butz

2019001591 DEED \$25.00
02/27/2019 02:42:46P 4 PGS
Nicole K. (Nikki) Baldwin
Boone County Recorder IN
Recorded as Presented

Tax ID No. 0192381003



C&I
CTIC# (7)11815040 MDS

LIMITED WARRANTY DEED

THIS INDENTURE WITNESSETH, that **J. Butz, Inc.**, an Indiana corporation ("Grantor"), CONVEYS to **Zann Real Estate Group, LLC**, an Indiana limited liability company ("Grantee"), for Ten Dollars (\$10.00) and other valuable consideration, all of its right, title, and interest in and to that certain real estate located in Boone County, Indiana, described in Exhibit A, attached hereto and incorporated by reference herein (the "Real Estate").

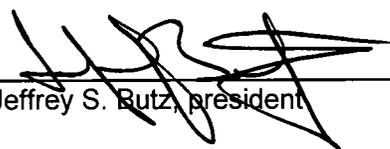
The undersigned, on behalf of Grantor, certifies that the execution of this Limited Warranty Deed and the transfer of the Real Estate have been duly authorized by Grantor, all in conformance with the provisions of its formation documents.

The Real Estate is conveyed subject to current taxes not delinquent and those matters set forth on Exhibit B, attached hereto and incorporated by reference herein.

Grantor, as its sole warranty herein, specially covenants and warrants that the Real Estate is free of any encumbrance made or suffered by Grantor except as set forth herein and that Grantor and Grantor's successors shall warrant and defend the same to Grantee and Grantee's successors and assigns forever against the claims and demands of all persons claiming by, through, or under Grantor, but against none other.

IN WITNESS WHEREOF, Grantor has executed this Limited Warranty Deed as of the 26 day of February, 2019.

J. Butz, Inc.

By: 
Jeffrey S. Butz, president

DULY ENTERED FOR TAXATION

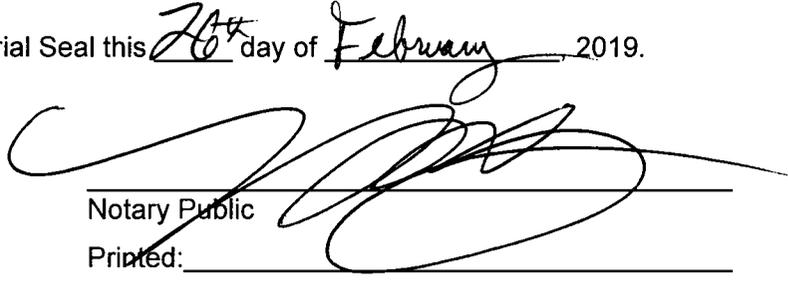
Heather Myers 2/27/19
SUBJECT TO FINAL ACCEPTANCE
AUDITOR, BOONE COUNTY

STATE OF INDIANA)
) SS:
COUNTY OF MARION)

Before me, a Notary Public in and for the above County and State, personally appeared Jeffrey S. Butz, president of J Butz, Inc., who acknowledged the execution of the foregoing Limited Warranty Deed on behalf of said entity.

WITNESS my hand and Notarial Seal this 20th day of February 2019.

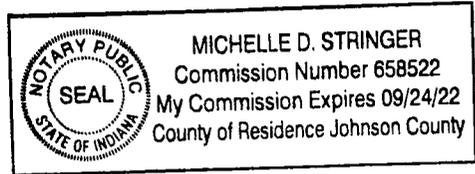
[SEAL]



Notary Public
Printed: _____

I am a resident of _____ County, Indiana.

My commission expires: _____.



Return after recording and send tax statements to:

3607 SEDGEMOOR CIRCLE
CARMEL IN 46032

This instrument was prepared by R. Stanton Evans, Attorney-At-Law, RSE Realty, Inc., 22 East Washington Street, Suite 114, Indianapolis, Indiana 46204. I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law. R. Stanton Evans

Exhibit A

LEGAL DESCRIPTION OF THE REAL ESTATE

Lot 3B in the Replat of Ripberger Business Park - Lot 3, an addition to the Town of Zionsville, Boone County, Indiana, as per plat thereof, recorded July 30, 2013 in Plat Book 22 Pages 29-30 as Instrument No. 201300008970 in the Office of the Recorder of Boone County, Indiana.

Exhibit B

SCHEDULE B EXCEPTIONS

1. a. Any adverse claim relative to Cemetery Creek based upon the assertion that:
 - i. The land or any part thereof is now or at any time has been below the ordinary low water mark of Cemetery Creek, or
 - ii. Some portion of the land has been created by artificial means or has accreted to such portion so created, or
 - iii. Some portion of the land has been brought within the boundary thereof by an avulsive movement, or has been formed by accretion to any such portion.
- b. Such rights and easements for navigation, commerce or recreation which may exist over that portion of the land lying beneath the waters thereof.
- c. Rights of upper and lower riparian owners with respect to the waters thereof.
2. Right-of-Way granted to Indiana Gas Transmission Corporation, its grantees, successors and assigns, dated October 5, 1935 and recorded November 30, 1935 in Book 27 Page 368.

Assignment by Indiana Gas Transmission Corporation to Michigan Gas Transmission Corporation, its grantees, successors and assigns, dated August 10, 1936 and recorded September 3, 1936 in Book 28 Page 62.

Partial Release of Agreement and Right-of-Way Grant by Panhandle Eastern Pipe Line Company, dated December 5, 1980 and recorded December 19, 1980 in Book 82 Pages 517-519.

3. Covenants, conditions, restrictions, building setback lines and easements as set forth in, and depicted upon, the plat of Ripberger Business Park, recorded March 6, 2013 in Plat Book 22 Pages 16-21 as Instrument No. 201300002741 and the Replat of Ripberger Business Park - Lot 3, recorded July 30, 2013 in Plat Book 22 Pages 29-30 as Instrument No. 201300008970.
4. Declaration of Restrictive Covenants for Conservation (Ripberger Business Park), dated April 10, 2014 and recorded April 16, 2014 as Instrument No. 20140002851.

PLAT

201300008970
Filed for Record in
BOONE COUNTY, INDIANA
NICOLE K. (NIKKI) BALDWIN, RECORDER
07-30-2013 At 01:17 pm.
PLAT 25.00

Instrument # 2013 0000 8970

Date: 7-30-13

Sub Division: Ripberger Business Park-Lot 3 Replat

Plat Book: 22 Page: 29-30

Cross Reference # _____

Platted From PT NE 12-17-2E 10.934 acres

**AFFIDAVIT OF NOTICE OF PUBLIC HEARING
OF THE TOWN OF ZIONSVILLE PLAN COMMISSION**

STATE OF Indiana
COUNTY OF Marion SS:

I, DO HEREBY CERTIFY THAT LEGAL NOTICE
(Name of person mailing letters)

TO INTERESTED PARTIES OF THE PUBLIC HEARING TO BE HELD BY THE TOWN OF ZIONSVILLE
PLAN COMMISSION, to consider the application of LandWorx Engineering, LLC

(Name of person on Petition)

Requesting: Development Plan Approval & Waiver of Architectural Design Requirements

was sent by CERTIFIED MAIL, RETURN RECEIPT REQUESTED, to each of the following property owners
at the following addresses:

<u>OWNER</u>	<u>ADDRESS</u>
<u>See attached.</u>	

and that said Legal Notices were sent by Certified Mail, Return Receipt Requested on or before the 4th
day of June July, 2020, being at least ten (10) days prior to the date of the Public Hearing
(copies of the "Receipt for Certified Mail" (white slips) attached).

and that said Legal Notice was published in a newspaper of general circulation at least ten (10) days prior to
the date of Public Hearing (Proof of Publication attached).

Benjamin J. Houle, P.E.
(Name of person mailing letters)

State of Indiana
County of Marion SS:

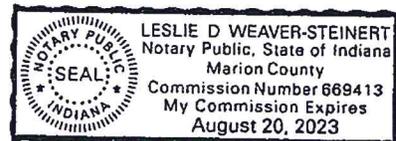
Subscribed and sworn to before me this July 7 day of 2020

Leslie D. Weaver-Steinert
Notary Public Signature Notary Public Printed

My commission expires August 20, 2023

My county of residence is Marion County.

My Commission No. is 669413



Attribute report for active ID 1

ID name

37904 TTC REAL ESTATE LLC
 43476 MARTEN TRANSPORT LTD
 43536 WLR 317 PROPERTIES LLC
 43539 ZANN REAL ESTATE GROUP LLC

add1

1015 W JACKSON ST
 129 MARTEN ST
 9614 IRISHMANS RUN LN
 3607 SEDGEMOOR CIR

add3

MUNCIE, IN 47305
 MONDOVI, WI 54755
 ZIONSVILLE, IN 46077
 CARMEL, IN 46032

**U.S. Postal Service™
CERTIFIED MAIL® RECEIPT**

Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

MONDOVI WI 54755

Certified Mail Fee	\$3.55
Extra Services & Fees (check box, add fee as appropriate)	\$2.85
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.55
Total Postage and Fees \$8.95



Sent To: **Marten Transport LTD**
Street and Apt. No., or PO Box No.: **129 Marten St.**
City, State, ZIP+4®: **Mondovi WI 54755**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

**U.S. Postal Service™
CERTIFIED MAIL® RECEIPT**

Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

MUNCIE IN 47305

Certified Mail Fee	\$3.55
Extra Services & Fees (check box, add fee as appropriate)	\$2.85
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.55
Total Postage and Fees \$8.95



Sent To: **PTC Real Estate LLC**
Street and Apt. No., or PO Box No.: **1015 W. Jackson St.**
City, State, ZIP+4®: **Muncie IN 47305**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

**U.S. Postal Service™
CERTIFIED MAIL® RECEIPT**

Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

ZIONSVILLE IN 46077

Certified Mail Fee	\$3.55
Extra Services & Fees (check box, add fee as appropriate)	\$2.85
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.55
Total Postage and Fees \$6.95



Sent To: **WLR 317 Properties LLC**
Street and Apt. No., or PO Box No.: **6104 Fishmans Run LN**
City, State, ZIP+4®: **Zionsville IN 46077**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

**U.S. Postal Service™
CERTIFIED MAIL® RECEIPT**

Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

CARMEL IN 46032

Certified Mail Fee	\$3.55
Extra Services & Fees (check box, add fee as appropriate)	\$2.85
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.55
Total Postage and Fees \$6.95



Sent To: **Zann Real Estate Group LLC**
Street and Apt. No., or PO Box No.: **3007 Sedgemoor Cir.**
City, State, ZIP+4®: **Carmel IN 46032**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

Extreme heat is in the forecast

Tips to stay safe

As temperatures soar into the 90s this week, with heat index values near 100 degrees, the FEMA Region 5 office in Chicago is encouraging residents to avoid the dangers of extreme heat by taking some simple steps to protect yourself.

"Extreme heat has the potential to be extremely dangerous," said Kevin M. Sligh, FEMA Region 5 acting regional administrator. "Regularly check yourself, family members, and neighbors for the signs and symptoms of heat-related illnesses and learn how to respond to them. It's important that we all take an active role to stay safe when excessive heat is forecast in our area."

If you don't have access to air conditioning at home, find places in your community with AC, such as a local cooling center. Remember to keep six feet between yourself and others, and follow guidance provided by local officials to ensure you can cope safely with extreme heat amidst the COVID-19 pandemic.

If you're outside, find shade. Avoid strenuous activity, cover your head with a hat wide enough to protect your face and wear loose, lightweight, light-colored clothing.

Swimming water has not been known to be a source of transmission," said Kristen Kelley, IU Health's director of infection prevention. "There's been no reports of pool water being a source of it. It really is about coming in contact with, typically, the air, over an extended time, usually in close quarters."

Kelley, a registered nurse certified in infection control who has a Master's Degree in



Kelly Lafferty Geberl/CNH News Indiana

Shanna Fowler swims freestyle as she does laps in the Kokomo YMCA pool.

Is it safe to dip your toes in?

Laura Arwood
CNH NEWS INDIANA

Summer fun is definitely different this year due to the COVID-19 pandemic.

And while it is encouraged that families have a good time outdoors, officials say the rules still apply to keep you and your family safe in public pools, water parks, lakes and beaches, and hot tubs.

IN THE WATER

The Centers for Disease Control and Prevention says there is no evidence to suggest that COVID-19 can be spread through water in public pools, hot tubs or water playgrounds. Proper operation and sanitation of aquatic venues, and treating the water with disinfectants such as chlorine and bromine, should inactivate the virus, according to "Considerations for Public Pools, Hot Tubs and Water Playgrounds During COVID-19," which is published by the CDC.

"Swimming water has not been known to be a source of transmission," said Kristen Kelley, IU Health's director of infection prevention. "There's been no reports of pool water being a source of it. It really is about coming in contact with, typically, the air, over an extended time, usually in close quarters."

Kelley, a registered nurse certified in infection control who has a Master's Degree in

Public Health and Epidemiology, said the novel coronavirus is a droplet organism that spreads via air.

Risk comes mainly from someone who is unmasked and within 3 to 6 feet for about 15 to 17 minutes of someone who is infected. Additionally, Kelley said most transmissions of the virus happen in enclosed areas.

"The positive part about pools is that it's usually outside," Kelley said. "The fresh air tends to break up any COVID molecules easily and dissipates the source of the virus."

POOL GUIDELINES

Kokomo Beach Family Aquatic Center, a water park in Kokomo, opened at half-capacity on June 14, allowing up to 700 swimmers. The city-owned water park features a leisure pool, lazy river, water slides and more. In preparation for that opening, guidelines were achieved with collaboration from local officials and following the CDC guidelines.

Said Torrey Roe, superintendent for Kokomo's Parks and Recreation Department. "The guidelines include daily cleaning procedures that mandate sanitizing deck chairs, lazy river tubes, handrails, the two slide towers, all access ladders/steps, concession stand tables, features of a splash pad and entry activity area, and routine cleaning of bathhouses and family changing center."

"The city is taking the aggressive approach, on cleaning and sanitizing," he said. "We've got stuff set up everywhere and are doing our best to help social distancing through signage. We're trying to keep the public, No. 1, informed, and No. 2, safe."

Safety strategies don't stop at disinfecting. Employees are screened by supervisors prior to each shift to ensure they aren't displaying symptoms of coronavirus. Masks and gloves are available for staff to use when in contact with the public.

Marion resident Doug Munday and his family visited Kokomo Beach on June 16, and said it was actually nicer to have less of a crowd than when it's at full capacity.

"Our experience was awesome," he said. "All day I saw workers spraying and wiping down tables and such after people had gotten up from eating and sitting."

"The number of people that are allowed in there is perfect. You weren't bumping into everyone or have to feel like you had to be right on top of someone. It seemed to us, being from out of town that they were doing everything right to do the best that is possible during this time."

Visitors are encouraged, but not required, to wear masks when out of the water. The CDC, as well as the Red Cross, advises masks should not be worn while swimming. It may be difficult to breathe

COLONIAL

CONTINUED FROM 1

to do and then leave, in one direction," Samson said. "Of course, you can go back through if you like. We aren't limiting how long people can be there, but we are limiting how they exit and enter."

While 18th Century hand-crafted wares made by some of the country's finest artists and craft persons are featured, Samson said the event's purpose is educational. Beside the market will be an encampment typical of the years 1770-90.

"The military is there to educate the public and show them the different uniforms, weapons and tactics they use during conflicts," Samson said. "We do have a scheduled battle at 2:30 p.m. each day ... that will demonstrate some of those tactics."

GROWING

CONTINUED FROM 1

large U-shaped planting bed for more produce growing sometime in the near future. This season, small raised gardens with paved work paths between them were installed. A grant allowed for a few ADA compliant height raised planters as well. With the paved area and taller planting boxes, access for those with mobility or movement issues are able to get their hands dirty too.

In another initiative, the garden has personal plots available to individuals who would like to rent their own personal patch. Recently, a double-sized spot was planted up with an ambitious crop of tomato rows. All of the food grown and harvested by the volunteers at St. Peter's is given away.

"We take most of what we harvest to the food bank at St. Joseph in Lebanon," Dailey said. "But we also have volunteers who come out and load up bags to deliver directly to shut-ins throughout the week. It's just a great thing to see, that's really our Care for Creation in action."

Dailey shows off the herb garden with its bubbling hot profile fountain. "The bees really appreciate this," she says.

Inside the small utility building is classroom space. "Usually we would be running four camp sessions in the summer, but not with COVID." The classroom includes a commercial grade kitchen with

IF YOU GO

WHAT: Colonial Market Days
WHEN: 9 a.m. to 5 p.m. Saturday; 9 a.m. to 4 p.m. Sunday
WHERE: Abner Longley Park, 1601 Longley Dr., Lebanon

Because of the pandemic, battles will mostly display tactics used during the years, but there will be cannons and horses. These type of markets were common in the era. Last year's event saw 1,200 spectators for the first day. The second day was washed out by rains.

For more information about the event or to purchase tickets online, visit the website at colonialmarketdays.com

an industrial freeze-drying machine where folks can learn about drying their fresh foods, and proper storage methods. Preparation and other preservation methods can be taught in workshops in the space.

Committed to this ministry, St. Peter's has sent Dailey and another church member to Texas A&M University for training in both agriculture practices and teaching. As a result, Dailey is now certified to teach the Junior Master Gardener Program. It is with great excitement and pride that they prepare to hold a graduation ceremony for their first class.

If all of this isn't enough to achieve barely five years after having an idea for a church garden, they've also teamed up with a group of Urban Agriculturists from Indianapolis. The Community Share Gardens project is in its first year. The Indiana Black Farmers Cooperative is using part of St. Peter's fields to grow their all-organic crops.

The BFC mission to Educate, Collaborate, and produce Good Healthy Food is a perfect match with the church's program. The four participating farmers (all female) currently grow at several spots in Indianapolis and sell their harvests in areas where real, fresh, and especially organic, food is scarce.

Overall, the garden isn't the only thing growing at St. Peter's. Outreach, learning, sustainability and stewardship are all coming together to produce a healthier community in mind, body and spirit.

ALARMS

CONTINUED FROM 1

Department Battalion Chief Adam Dickerson said it was confirmed to be a false alarm. Firefighters and Lebanon Police who were on site immediately rushed to a second alarm that went off shortly after 1 p.m. at WiseWood Farm, County Road 50 West 290 South, Lebanon. WiseWood is home to the Woody family, who had already evacuated by the time Boone County Deputy Sheriff Scott Pell arrived.

"If [LFD] finds anything, they'll investigate it further, but I think their in-home detectors just went off," Pell said the scene.

After investigating the premises for signs of excessive heat, Dickerson and the LFD concluded that there was no fire in the house.



Leanne Stahurk/The Lebanon Reporter

The Lebanon Fire Department responded to a fire alarm at Lebanon High School shortly before 1 p.m. Wednesday.

BOONE COUNTY

Public Notices

Make sure you're in the know when it comes to your community, city, county, schools and more.

Public Notices
Indiana newspapers and the Hoosier State Press Association provide an online clearinghouse of thousands of public notices. If you missed it in print or want to find a notice statewide, look online at IndianaPublicNotices.com.

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TREASURER

CONTINUED FROM 1

Hernandez-DeCrane said she moved to Boone County in 1998. She said she was looking to get more involved in local politics. She started helping others get elected.

"As I started to get involved in these campaigns, there was an obvious need for more people to run on the Democratic side," Hernandez-DeCrane said. "My background has been in education and I've also worked in health care."

Hernandez-DeCrane said she has worked in complex health care and education organizations.

"I've helped design complex workflows and worked in data management, information architecture," she said. "I know that will translate to working with the numbers and the data in the treasurer's office."

Campaigning is much tougher these days due to the COVID-19 pandemic. Hernandez-DeCrane said she is working on organizing some virtual events to help get her name out.

The Republican candidate for treasurer is Nicole (Nikki) Baldwin. Democrats have also chosen Kayla Jordan to run as the Boone County Auditor and Greg Woods is running for state representative in Dist. 41.

Public Notices

Public Notices

Notice is hereby given that I have, as the owner (or with the owner's consent) a property commonly described as the address of 1100 Locust in Zionsville, Indiana, IN 46167, and is legally described by the attached legal description, have filed a petition before the Zionsville Board of Zoning Appeals, which petition requests an **Variance** for the said property in order to:

Allow a driveway to remain uncovered (UDO Chapter 3 Section C-2 Driveway Standards) and **DDZ-20-02-DV** will come for hearing at 6:00 p.m. at the Zionsville Town Hall, 421 E. Main St. Jamestown, IN 46147 on August 5, 2020.

In accordance with the Americans With Disabilities Act, if anyone wishes to attend the public hearing on the above referenced matter and if you are in need of reasonable accommodation in order to hear, present evidence, or participate in the proceedings to terminate the proceedings on this matter, please contact the Administrator as accommodation can be made. The hearing will be held at the Zionsville Town Hall, 421 E. Main St. Jamestown, IN 46147, on Monday through Friday, except for holidays, in the office of Planning and Development at the Town Hall, 1100 West Oak Street, Zionsville, Indiana 46077. Written comments in support of or in opposition to the Petition for Plan Commission Approval are on file and may be examined prior to the Public Hearing on 8:00 a.m. to 4:00 p.m. Monday through Friday, except for holidays, in the office of Planning and Development at the Town Hall, 1100 West Oak Street, Zionsville, Indiana 46077. Written comments in support of or in opposition to the Petition for Plan Commission Approval will be heard from time to time as may be found necessary.

LEGAL DESCRIPTION
Property Owned by: Fukai Toyota/Indiana Corporation
Hoosier State Press Association
Street: Jamestown, Indiana 46167.
Parcel Number is 1004070000 and is subject to 38.83 acres, Zoning of Subj. Property is I-4 and the Use of Subj. Property is Manufacturing.
L-1681 7/9 hspaxp 1650768
For full public notice listings go to IndianaPublicNotices.com.

Public Notices

Public Notices

NOTICE OF PUBLIC HEARING BY THE TOWN OF ZIONSVILLE
PLAN COMMISSION
Notice is hereby given of a public hearing to be held by the Town of Zionsville, Indiana, on Monday, July 20, 2020 at 7:00 p.m. in the Zionsville Town Hall, 1100 West Oak Street, Zionsville, Indiana 46077 to consider the following:

PLAN COMMISSION APPROVAL for a Development Plan and Ordinance to amend the Zoning Ordinance and the Zoning Ordinance Development Requirements to be amended as follows:

Approval for an office building located at 10400 Bennett Parkway and requesting waivers to structural design requirements. The property involved commonly known as: 10400 Bennett Parkway, Zionsville, Indiana 46077, is zoned to the I-2 Urban zoning district and is legally described as: Lot 35, Bennett Parkway and Zionsville, Indiana 46077. A copy of the Petition for Plan Commission Approval and all plans pertaining thereto are on file and may be examined prior to the Public Hearing on 8:00 a.m. to 4:00 p.m. Monday through Friday, except for holidays, in the office of Planning and Development at the Town Hall, 1100 West Oak Street, Zionsville, Indiana 46077. Written comments in support of or in opposition to the Petition for Plan Commission Approval will be heard from time to time as may be found necessary.

Upon request, the Town of Zionsville will provide auxiliary aids and services. Please provide your contact information to planning@zionsvillein.gov or 317-878-1577, to ensure the proper accommodations are made prior to the meeting.
David Franz
Treasurer
Wayne DeLong
Secretary
L-1681 7/9 hspaxp 1652288

SURVEYOR'S NOTES

- This plat of an ALTA/NSPS LAND TITLE SURVEY is based upon the Chicago Title Insurance Company commitment for title insurance having Commitment No. CTIN1815040 and the effective date of October 22, 2018.
- No comment is made regarding the following Exceptions in Schedule B, Part II of the commitment for title insurance: 1-13, 17 and 18.
- The following notes are keyed to the Exceptions in Schedule B, Part II of the commitment for title insurance.
 - Item 14: Right-of-Way for Gas Lines per Book 27, Page 368 - There is no specific legal description given for the location of the easement, only references to prior adjoiners, therefore I cannot determine the exact location of the easement. This easement has been partially released, see below.
 - Assignment per Book 28, Page 62 - Nothing to plot.
 - Partial Release of Agreement and Right-of-Way Grant per Book 82, Page 517 - The subject parcel is not included in the area released by the document.
 - Item 15: Ripberger Business Park per Instrument Number 201300002741 and Replat of Ripberger Business Park - Lot 3 per Instrument Number 201300008970 - All easements and setback lines depicted on the plats that fall on the subject parcel are shown on the survey.
 - Item 16: Declaration of Restrictive Covenants for Conservation per Instrument Number 201400002851 - The easement falls on the subject parcel along the north line. The easement is in the same location as the Conservation Easement shown on Instrument Number 201300002741 (Ripberger Business Park).
- The purpose of this survey was to prepare an ALTA/NSPS Land Title Survey for the site.
- The accuracy of any flood hazard data shown on this survey is subject to map scale uncertainty and to any other uncertainty in location or elevation on the referenced Flood Insurance Rate Map. Flood Insurance Rate Map having Community-Panel Number 18016 0353 E (effective date January 18, 2012) of the National Flood Insurance Program indicates this site to be within zone "X" (areas determined to be outside 500-year floodplain).
- Basis of Bearing System: The bearings are based on the Replat of Ripberger Business Park - Lot 3 recorded as Instrument Number 201300008970.
- The locations of any underground utilities shown on this plat are based upon above ground evidence (including, but not limited to, manholes, inlets, and marks made on the ground by others) and are speculative in nature. There may be underground utilities for which there is no above ground evidence or for which the above ground evidence was not observed (i.e. buried or paved over).
- The were no buildings observed on the subject parcel at the time of the field survey.
- American Structurepoint, Inc. makes no warranty, either expressed or implied, as to our staking, findings, recommendations, plans, specifications, or professional advice except that the work was performed pursuant to generally accepted standards of practice and degree of care exercised by members of the same profession on projects of comparable size and complexity. As used in this survey, the word certify (certified, certification, and/or certificate) shall be interpreted as meaning a professional opinion regarding the conditions of those facts and/or findings which are the subject of the certification and does not constitute a warranty or guarantee, either express or implied.
- This plat of an ALTA/NSPS LAND TITLE SURVEY represents a survey made under my supervision and in compliance with "Rule 12" of TITLE 865 of the INDIANA ADMINISTRATIVE CODE (establishes minimum standards for the competent practice of land surveying) and the MINIMUM STANDARD DETAIL REQUIREMENTS and CLASSIFICATIONS for ALTA/NSPS LAND TITLE SURVEYS (a copy of which is attached hereto and is hereby made a part hereof) with corners established as shown.

SURVEYOR'S REPORT

In accordance with 865 IAC 1-12-1 et seq., the following observations and opinions are submitted regarding the causes and the amounts of uncertainty in the locations of the lines and corners found or established during this survey as a result of:

- availability and condition of reference monuments,
 - occupation or possession lines,
 - clarity or ambiguity of the record descriptions for the site and its adjoiners, and
 - the relative positional accuracy of the measurement.
- A. The subject parcel is a lot in a subdivision that was prepared under my supervision. Monuments recovered at the corners of the lot are original corners and were held to control the boundary lines of the subject parcel. In my opinion, the uncertainty associated with these monuments is negligible.
- B. Unless otherwise noted, there is no physical evidence of occupation or possession along the boundary lines of the subject parcel.
- 428.61' Line: A fence is 12 to 18 feet south of the line.
- 280.00' Line: A fence ranges from 3.8 to 5.5 feet west of the line. A utility pole in on line. A second utility pole is 1.7 feet east of the line.
- 253.53' Line: A stone driveway crosses the line.
- C. The record descriptions for the site and its adjoiners were obtained from the office of the Recorder of Boone County (the latest research date was December 11, 2018). The record descriptions for the adjoiners were mathematically retraced to disclose any gaps and/or overlaps between the boundary lines of the site and its adjoiners. The following observations are made as a result of this retracement: There were no gaps or overlaps between the boundary of the site and its adjoiners.
- D. The relative positional accuracy (uncertainty due to random errors in measurement) of any point on the survey relative to any other point on the survey at the ninety-five percent (95%) confidence level is within the specifications for an Urban Survey (0.07 feet + 50 ppm) as defined in 865 IAC 1-12-7.

As a result of the above observations, it is my opinion that the uncertainties in the locations of the lines and corners established during this survey are as follows:

- Due to **variances** in reference monuments: 0.0 feet;
- Due to **inconsistencies** in lines of occupation: see "B" above;
- Due to **discrepancies** in the record descriptions: 0.0 feet; and
- Due to **random errors** in measurement: within the specifications for an Urban Survey (0.07 feet + 50 ppm) as defined in 865 IAC 1-12-7.

LEGAL DESCRIPTION

Lot 3B in the Replat of Ripberger Business Park - Lot 3, per plat thereof, recorded as Instrument Number 201300009870 in the Office of the Recorder of Boone County, Indiana.

PRO FORMA

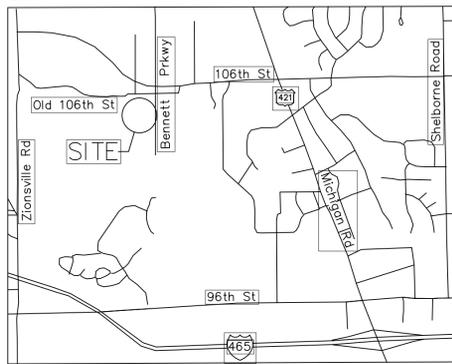
SURVEYOR'S CERTIFICATION

To Chicago Title Insurance Company; Zann Real Estate Group, LLC; J. Butz, Inc.:

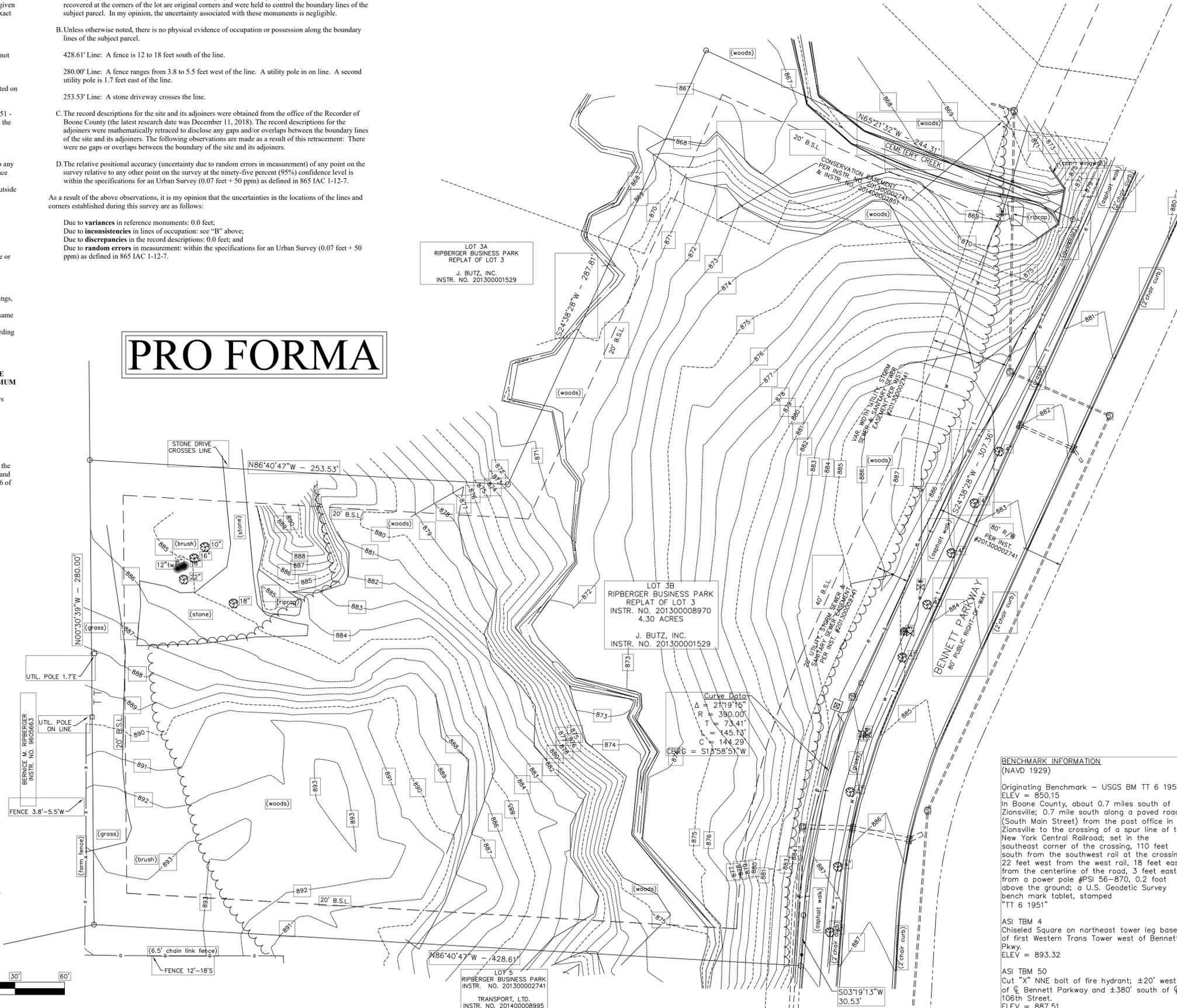
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a), 7(a), 7(b)(1), 7(c), 8, 9, 13, 14 and 16 of Table A thereof. The fieldwork was completed on December 14, 2018.

This document is not valid unless imprinted with a land surveyor's seal.

Michael J. Smith
Professional Land Surveyor 20500025
msmith@structurepoint.com
Date:



- LEGEND**
- CURB INLET
 - DRAINAGE MANHOLE
 - FIRE HYDRANT
 - POST
 - SIGN
 - SANITARY MANHOLE
 - TELEPHONE HANDHOLE
 - TRANSFORMER
 - TREE
 - WATER METER
 - WATER MARKER SIGN
 - WATER VALVE
 - BURIED ELECTRIC LINE
 - BURIED TELEPHONE LINE
 - BURIED WATER LINE
 - TOP OF RIM ELEVATION
 - INVERT ELEVATION
 - PLASTIC PIPE
 - REINFORCED CONCRETE PIPE
 - BUILDING SETBACK LINE PER INSTR. NO. 201300008970
 - 5/8-INCH DIA. REBAR W/ STRUCTUREPOINT - 0094" CAP FOUND



Prepared For:

Zann Real Estate Group, LLC
4000 West 106th Street
Suite 125-311
Carmel, IN 46032



7260 Shadeland Station | Indianapolis, Indiana 46256
TEL 317.547.5580 | FAX 317.543.0270
www.structurepoint.com

**LOT 3B
RIPBERGER
BUSINESS PARK**

10440 Bennett Parkway
Zionsville, Indiana

CERTIFIED BY

ISSUANCE INDEX

DATE:
02/26/2019

REVISION SCHEDULE

NO.	DESCRIPTION	DATE

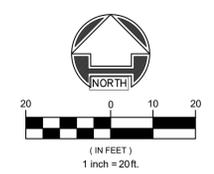
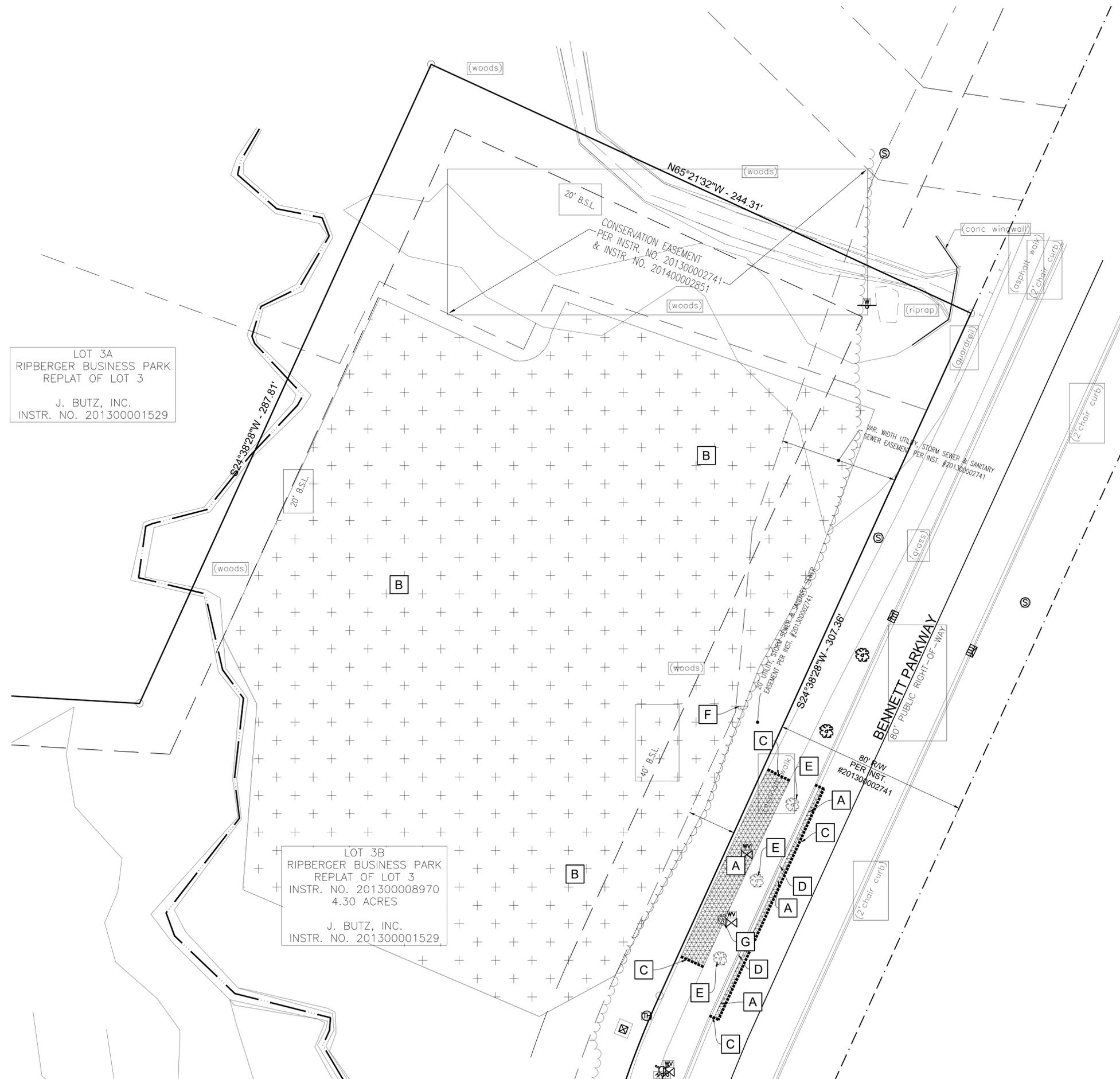
I affirm, under penalties for perjury, that I have taken reasonable care to reduce each Social Security number in this document, unless required by law.

Project Number 2018.02540

**ALTA/NSPS LAND
TITLE SURVEY**

DRAWING FILE: G:\M\Drawings\0261 - Bennett Parkway Office Building\Received\Survey\ACAD\20180226\0261_SV_2018-12-17_XTP_Adr_Michael.Dwg
EDIT DATE: 3/18/2020
EDITED BY: MSMTTH
PLOT DATE: 7/10/2020 3:46 PM
PLOT SCALE: 1"=30'

G:\My Drive\00261 - Bennett Parkway Office Building Design\CAD\00261_C110.dwg E:\an West Plot: 7/10/2020 3:43 PM Save: 7/10/2020 3:17 PM



DEMOLITION LEGEND:	
DESCRIPTION:	QUANTITY:
A ASPHALT TO BE REMOVED	1065 SQFT
B WOODS TO BE CLEARED	52,000 SQFT
C SAW CUTS	132 LFT
D CURB TO BE REMOVED	104 LFT
E TREE TO BE REMOVED	3 EACH
F SIGN TO BE REMOVED	1 EACH
G WATER METER PIT TO BE REMOVED	1 EACH

- DEMOLITION NOTES:**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OFF-SITE OF ALL ITEMS SHOWN ON THE DEMOLITION PLAN INCLUDING ITEMS ENCOUNTERED DURING EXCAVATION OF BUILDING FOUNDATIONS AND UTILITY PLACEMENT.
 - PRIOR TO STARTING DEMOLITION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED BY LOCAL GOVERNMENTAL AGENCIES.
 - THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANIES FOR THE DISCONNECTION AND REMOVAL OF SERVICES TO EXISTING STRUCTURES.
 - ITEMS SHOWN ON THE DEMOLITION PLAN TO BE SALVAGED SHALL BE TRANSPORTED TO A LOCATION SPECIFIED BY THE OWNER OR THEIR REPRESENTATIVE.
 - ITEMS OF SALVAGEABLE VALUE TO THE CONTRACTOR MAY BE REMOVED WITH THE PERMISSION OF THE OWNER OR THEIR REPRESENTATIVE. THE CONTRACTOR SHALL NOT STORE THESE ITEMS ON SITE.
 - THE CONTRACTOR SHALL NOT USE EXPLOSIVES OR BURN DEBRIS.
 - CONDUCT DEMOLITION OPERATIONS TO ENSURE MINIMAL INTERFERENCE WITH ROADS, SIDEWALKS AND ANY OTHER ADJACENT OCCUPIED FACILITIES.
 - DO NOT CLOSE OR OBSTRUCT ROADS, SIDEWALKS, OR ANY OTHER OCCUPIED FACILITIES WITHOUT PERMISSION FROM THE LOCAL AUTHORITY HAVING JURISDICTION AND/OR PROPERTY OWNERS.
 - THE CONTRACTOR SHALL ENSURE SAFE PASSAGE OF PERSONS TRAVERSING THROUGH OR AROUND THE CONSTRUCTION SITE.
 - THE CONTRACTOR SHALL PROTECT SURROUNDING STRUCTURES, UTILITIES, AND OTHER FACILITIES FROM DAMAGE DURING DEMOLITION AND REMOVAL OPERATIONS.
 - BUILDING STRUCTURES INCLUDING FOUNDATIONS AND BASEMENTS, SHALL BE REMOVED AND BACKFILLED WITH APPROVED BACKFILL. MATERIAL SHALL BE PLACED IN LIFTS NOT EXCEEDING EIGHT INCHES IN THICKNESS. EACH LIFT SHALL BE COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, OR IF SUCH REPORT IS UNAVAILABLE, TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557, MODIFIED PROCTOR METHOD +/- 3% OF OPTIMUM MOISTURE CONTENT.
 - UTILITIES SHALL BE REMOVED AND THE TRENCHES BACKFILLED WITH APPROVED BACKFILL MATERIAL. BACKFILL MATERIAL SHALL BE PLACED IN MAXIMUM EIGHT INCH LIFTS AND COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT OR TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557, MODIFIED PROCTOR METHOD +/- 3% OF OPTIMUM MOISTURE CONTENT.
 - TRANSPORT DEMOLITION MATERIAL TO AN INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT PERMITTED LANDFILL SUCH AS TWIN BRIDGES LANDFILL IN DANVILLE, INDIANA.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THE CONSTRUCTION SITE AND SURROUNDING AREAS ARE FREE OF ACCUMULATED DEBRIS.
 - CONTRACTOR TO COORDINATE WITH CITIZENS ENERGY GROUP FOR THE REMOVAL OF EXISTING METER PIT.



Client Name & Address
CURRAN ARCHITECTURE
 7519 LAWTON LOOP E DR
 SUITE 212
 INDIANAPOLIS, IN 46216
 317.288.0681
<http://curran-architecture.com>

No.	Revision/Issue	Date
01	PER CITY COMMENTS	07/10/20

AES OFFICE BUILDING
10440 BENNETT PARKWAY
ZIONSVILLE, IN
 DEMOLITION PLAN

Professional Seal & Signature

Drawn By: ETW	Sheet
Checked By: BJH	C110
Date: 06/16/2020	
Scale: 1" = 20'	
Project No: LW00261	



G:\My Drive [02261 - Bennett Parkway Office Building Design] CAD [02261_C200.dwg] Even West Plot: 7/10/2020 3:43 PM Save: 7/10/2020 3:16 PM

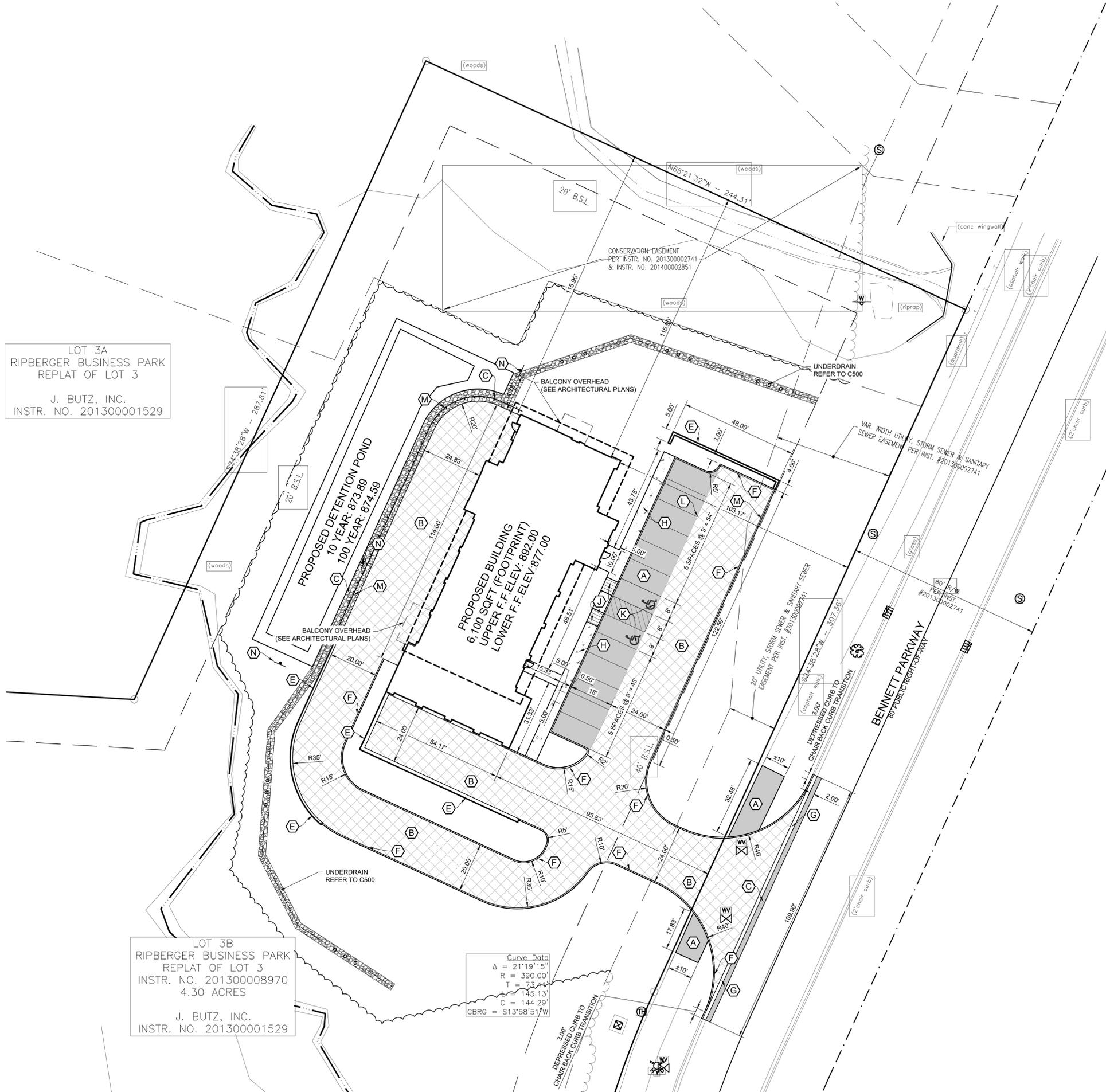
LOT 3A
RIPBERGER BUSINESS PARK
REPLAT OF LOT 3

J. BUTZ, INC.
INSTR. NO. 201300001529

LOT 3B
RIPBERGER BUSINESS PARK
REPLAT OF LOT 3
4.30 ACRES

J. BUTZ, INC.
INSTR. NO. 201300001529

Curve Data
Δ = 21°19'15"
R = 390.00'
T = 73.44'
L = 145.13'
C = 144.29'
CBRG = S13°58'51"W



PROPOSED SITE LEGEND:

DESCRIPTION:	DETAIL #/SH. #
(A) LIGHT-DUTY ASPHALT PAVEMENT	DETAIL 01/C700
(B) HEAVY-DUTY ASPHALT PAVEMENT	DETAIL 01/C700
(C) VEGETATED FILTER STRIP	DETAIL 02/C701
(D) CONCRETE SURFACE	DETAIL 03/C700
(E) RETAINING WALL	REFERENCE STRUCTURAL PLANS
(F) 6" CONCRETE CURB	DETAIL 07/C700
(G) DEPRESSED CURB	DETAIL 08/C700
(H) CONCRETE CURB AND WALK	DETAIL 02/C700
(J) ACCESSIBLE RAMP	DETAIL 08/C700
(K) ACCESSIBLE PARKING STALL	DETAIL 05/C700
(L) TRAFFIC STRIPING	DETAIL 04/C700
(M) GUARDRAIL	DETAIL 11/C700
(N) DETENTION POND WARNING SIGN	DETAIL 10/C700

- SITE LAYOUT NOTES:**
- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY, OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
 - ALL PARKING STRIPES ARE TO BE 4" PAINTED WHITE. UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS, OR SPECIFICATIONS.
 - ALL DIMENSIONS ARE TO EDGE OF PAVEMENT OR FACE OF CURB, WHERE APPLICABLE.
 - ALL DIMENSIONS TO BUILDING ARE TO THE OUTSIDE FACE OF BRICK OR FACING MATERIAL, WHERE APPLICABLE.
 - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND ELEVATIONS DURING THE ENTIRE CONSTRUCTION SCHEDULE. IF ANY DISCREPANCIES ARE FOUND IN THESE PLANS FROM ACTUAL FIELD DIMENSIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
 - PROVIDE SMOOTH TRANSITION FROM NEWLY PAVED AREAS TO EXISTING AREAS AS NECESSARY. ALL AREAS WHERE PROPOSED PAVEMENT MEETS EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE FREE OF ALL LOOSE DEBRIS. THE EDGE OF EXISTING ASPHALT PAVEMENT SHALL BE PROPERLY SEALED WITH A TACK COAT MATERIAL IN ALL AREAS WHERE NEW ASPHALT PAVEMENT IS INDICATED TO JOIN EXISTING.
 - ALL EXCAVATED AREAS TO BE SEEDED AND/OR SODDED AFTER FINISH GRADING UNLESS OTHERWISE NOTED. ALL NEWLY SODDED/SEEDED AREAS SHALL HAVE A MINIMUM OF 4" OF TOPSOIL. HOLD SOIL DOWN 1" FROM PAVEMENT ELEVATION. CONTRACTOR TO SUPPLY STRAW MULCH WHERE GRASS SEED HAS BEEN PLANTED.
 - RESURFACE OR RECONSTRUCT AT LEAST TO ORIGINAL CONDITIONS ALL AREAS WHERE TRAFFIC BY CONTRACTORS, SUBCONTRACTORS OR SUPPLIERS HAVE DAMAGED EXISTING PAVEMENT, LAWNS OR OTHER IMPROVEMENTS DURING CONSTRUCTION, AFTER CONSTRUCTION WORK IS COMPLETE.
 - ALL UTILITY TRENCHES WITHIN 5 FEET OF PAVEMENT SHALL BE COMPLETELY BACKFILLED WITH GRANULAR BACKFILL.
 - ALL RADII INDICATED SHALL BE CONSTRUCTED AS CIRCULAR ARCS.



Client Name & Address
CURRAN ARCHITECTURE
7519 LAWTON LOOP E DR
SUITE 212
INDIANAPOLIS, IN 46216
317.288.0681
http://curran-architecture.com

No.	Revision/Issue	Date
01	PER CITY COMMENTS	07/10/20

**AES OFFICE BUILDING
10440 BENNETT PARKWAY
ZIONSVILLE, IN
SITE PLAN**

Professional Seal & Signature

Drawn By: ETW
Checked By: BJH
Date: 06/16/2020
Scale: 1" = 20'
Project No.: LW00261

C200



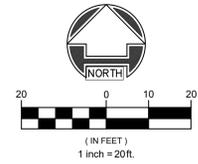
Know what's below.
Call before you dig.

No.	Revision/Issue	Date
01	PER CITY COMMENTS	07/10/20

AES OFFICE BUILDING
10440 BENNETT PARKWAY
ZIONSVILLE, IN
GRADING PLAN

Professional Seal & Signature

Drawn By: ETW	Sheet
Checked By: BJH	
Date: 06/16/2020	C300
Scale: 1" = 20'	
Project No: LW00261	



PROPOSED GRADING LEGEND:	
DESCRIPTION:	ABBREVIATIONS
713.00	PROPOSED SPOT
TC 712.00 BC 712.00	PROPOSED CURB ELEVATION
800	PROPOSED CONTOUR
800	EXISTING CONTOUR
---	PROPOSED GRADE BREAK
---	PROPOSED FLOWLINE
---	PROPOSED STORM SEWER
---	PROPOSED UNDERDRAIN
---	PROPOSED CURB INLET
---	CONCRETE END SECTION
	EP = EDGE OF PVMT.
	TC = TOP OF CURB
	BC = BOTTOM OF CURB
	TOR = TOP OF RIM (PAVEMENT ELEVATION)
	INV = STORM INVERT
	FL = FLOWLINE
	ME = MATCH EXISTING
DESCRIPTION:	DETAIL #/SH. #
---	DETAIL #/C700
---	DETAIL #/C700
---	DETAIL #/C700

- GRADING NOTES:**
- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
 - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS. IF ANY DISCREPANCIES ARE FOUND IN THESE PLANS FROM THE ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
 - THE EXCAVATING CONTRACTOR MUST TAKE PARTICULAR CARE WHEN EXCAVATING IN AND AROUND EXISTING UTILITY LINES AND EQUIPMENT. VERIFY COVER REQUIREMENTS BY UTILITY CONTRACTORS AND/OR UTILITY COMPANIES SO AS NOT TO CAUSE DAMAGE.
 - THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS BEFORE CONSTRUCTION IS TO START. TO VERIFY IF ANY UTILITIES ARE PRESENT ON SITE. ALL VERIFICATIONS (LOCATION, SIZE AND DEPTH) SHALL BE MADE BY THE APPROPRIATE UTILITY COMPANIES. WHEN EXCAVATING IS AROUND OR OVER EXISTING UTILITIES, THE CONTRACTOR MUST NOTIFY THE UTILITY COMPANY SO A REPRESENTATIVE OF THAT UTILITY COMPANY CAN BE PRESENT TO INSTRUCT AND OBSERVE DURING CONSTRUCTION.
 - TRENCHES FOR ALL STORM DRAIN LINES SHALL BE BACKFILLED COMPLETELY WITH ENGINEERED GRANULAR MATERIAL IF WITHIN 5 FEET OF PAVEMENT.
 - AFTER STRIPPING TOPSOIL MATERIAL, PROOFROLL WITH A MEDIUM WEIGHT ROLLER TO DETERMINE LOCATIONS OF ANY POCKETS OF UNSUITABLE MATERIAL. THE NECESSITY FOR SUBDRAINS AND/OR REMOVAL OF ANY UNSUITABLE MATERIAL WITHIN THE PROPOSED PARKING AREAS WILL BE DETERMINED AT THE TIME OF CONSTRUCTION. PROVIDE POSITIVE DRAINAGE WITHOUT PONDING, IN ALL AREAS. AFTER INSTALLATION, CONTRACTOR TO TEST FOR, AND CORRECT, IF ANY, "BIRD BATH" CONDITIONS.
 - ALL PROPOSED SPOT ELEVATIONS ARE THE FINAL PAVEMENT AND FINAL GRADE ELEVATIONS.
 - SEE APPROPRIATE DETAILS TO DETERMINE SUBGRADE ELEVATIONS BELOW FINISH GRADE ELEVATIONS INDICATED.
 - FLOW LINE ELEVATIONS ARE GIVEN AT END OF CONCRETE END SECTIONS.
 - TOR = TOP OF RIM AND REFLECTS PAVEMENT GRADE.

VERTICAL DATUM (NAVD 1929):	
ORIGINATING BENCHMARK - USGS BM TT 6 1951	ELEV = 850.15
IN BOONE COUNTY, ABOUT 0.7 MILES SOUTH OF ZIONSVILLE; 0.7 MILE SOUTH ALONG A PAVED ROAD (SOUTH MAIN STREET) FROM THE POST OFFICE IN ZIONSVILLE TO THE CROSSING OF A SPUR LINE OF THE NEW YORK CENTRAL RAILROAD; SET IN THE SOUTHWEST CORNER OF THE CROSSING, 110 FEET SOUTH FROM THE SOUTHWEST RAIL AT THE CROSSING, 22 FEET WEST FROM THE WEST RAIL, 18 FEET EAST FROM THE CENTERLINE OF THE ROAD, 3 FEET EAST FROM A POWER POLE #PS1 66-870, 0.2 FOOT ABOVE THE GROUND; A U.S. GEODETIC SURVEY BENCH MARK TABLE, STAMPE "TT 6 1951"	
ASI TBM 4	ELEV = 893.32
CHISELED SQUARE ON NORTHEAST TOWER LEG BASE OF FIRST WESTERN TRANS TOWER WEST OF BENNETT PKWY.	
ASI TBM 50	ELEV = 887.51
CUT "X" NNE BOLT OF FIRE HYDRANT, ±20' WEST OF CENTERLINE BENNETT PARKWAY AND ±380' SOUTH OF CENTERLINE 108TH STREET.	

FLOOD ZONE:

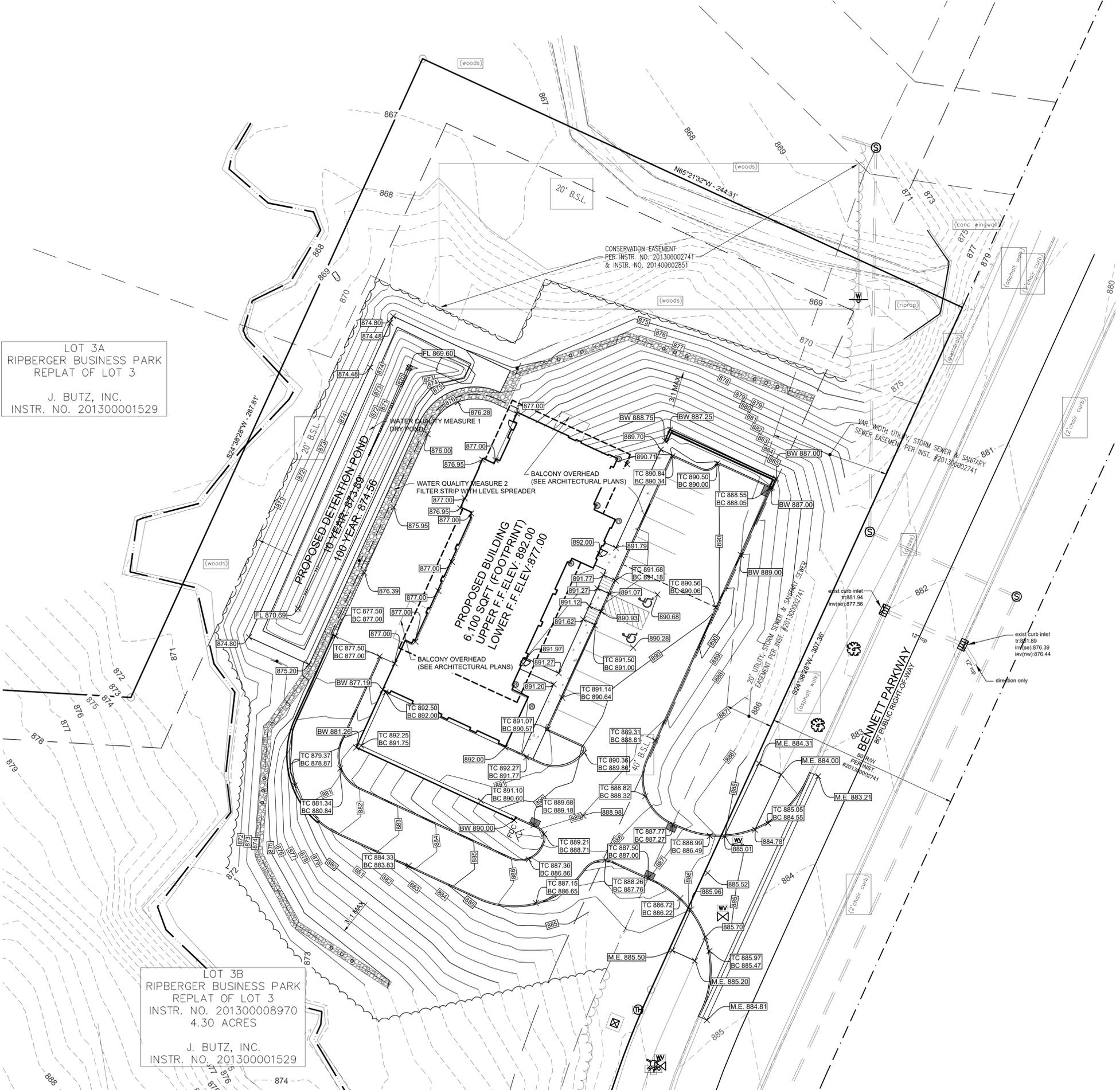
THIS PROPERTY IS WITHIN FLOOD ZONE X, AREA OF MINIMAL FLOOD HAZARD, AS DEFINED BY THE FIRM (FLOOD INSURANCE RATE MAP) FOR THE BOONE COUNTY, INDIANA, COMMUNITY NO. 16016, PANEL NUMBERS 0353E, DATED JANUARY 18, 2012.

UTILITY DISCLAIMER:

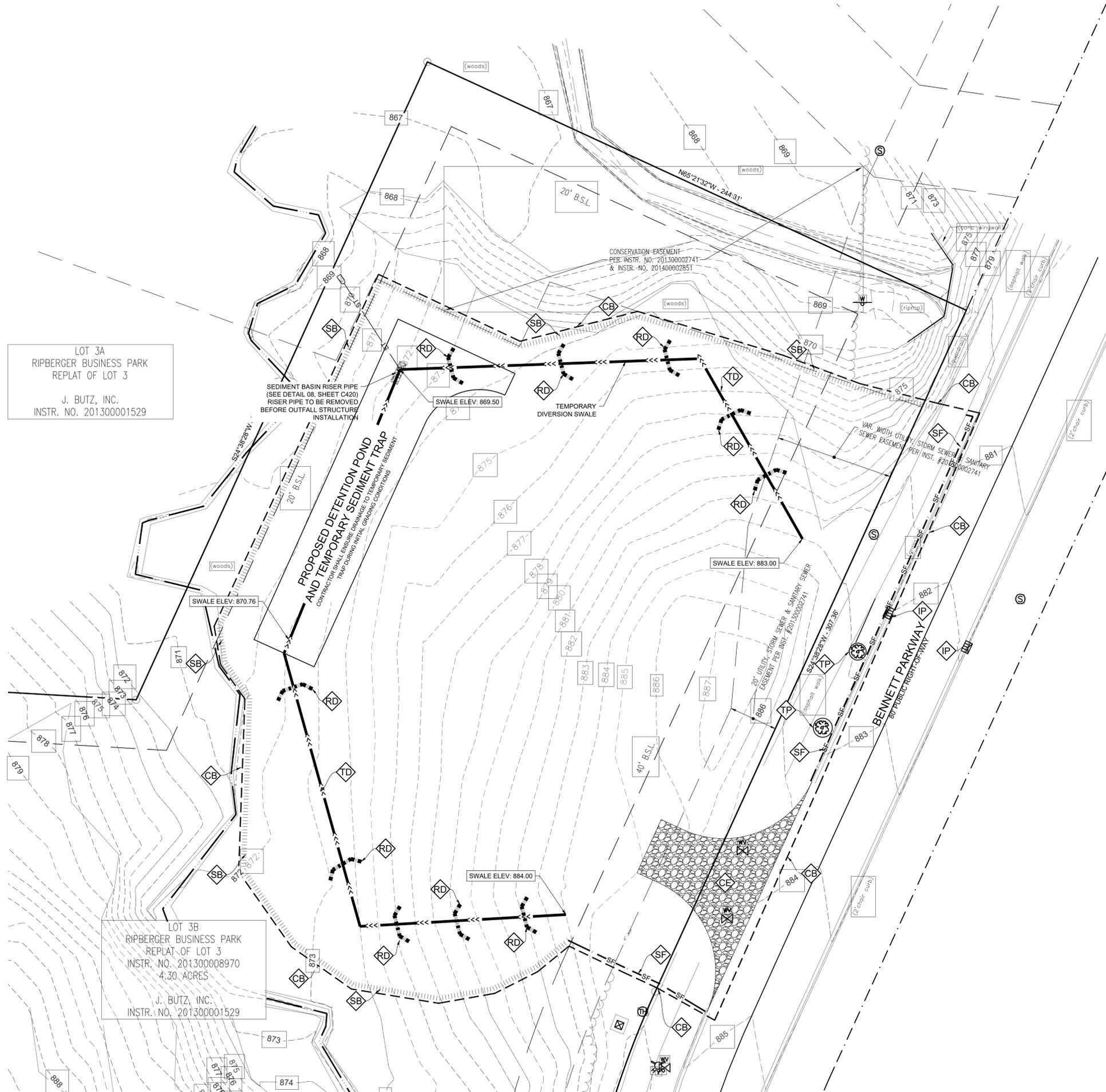
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR AND ENGINEER MAKE NO GUARANTEES THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR AND ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

TOTAL DISTURBED AREA:

1.28 ACRES



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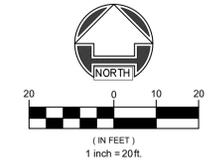


LOT 3A
RIPBERGER BUSINESS PARK
REPLAT OF LOT 3

J. BUTZ, INC.
INSTR. NO. 201300001529

LOT 3B
RIPBERGER BUSINESS PARK
REPLAT OF LOT 3
INSTR. NO. 201300008970
4.30 ACRES

J. BUTZ, INC.
INSTR. NO. 201300001529



EROSION CONTROL LEGEND:		DETAIL #/SH. #
DESCRIPTION & CALL SYMBOL:		
CONSTRUCTION ENTRANCE	CE	ZIONSVILLE STANDARD/C420
EROSION CONTROL MAT	EM	ZIONSVILLE STANDARD/C420
PROPOSED RIPRAP	RP	DETAIL 02/C421
CONSTRUCTION STAGING AREA	SA	
CONCRETE WASHOUT AREA	CA	DETAIL 01/C421
INSERT INLET PROTECTION	IP	DETAIL 04/C421
SILT FENCE	SF	ZIONSVILLE STANDARD/C420
TREE PROTECTION	TP	DETAIL 07/C421
CONSTRUCTION BOUNDARY		
STRAW BALE	SB	ZIONSVILLE STANDARD/C420
STRAW MULCH	SM	
TEMPORARY DIVERSION DITCH	TD	DETAIL 05/C421
ROCK CHECK DAM	RD	DETAIL 06/C421
VEGETATED COIR LOGS	CL	DETAIL 03/C421

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- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE AS THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEDIMENT FROM LEAVING THE SITE. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
- SEDIMENT LADEN WATER SHALL BE DETAINED BY EROSION CONTROL PRACTICES AS NEEDED TO MINIMIZE SEDIMENTATION IN THE RECEIVING STREAM. NO STORM WATER SHALL BE DISCHARGED FROM THE SITE IN A MANNER THAT CAUSES EROSION AT THE POINT OF DISCHARGE.
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No.	Revision/Issue	Date
01	PER CITY COMMENTS	07/10/20

**AES OFFICE BUILDING
10440 BENNETT PARKWAY
ZIONSVILLE, IN**

MASS GRADING EROSION CONTROL PLAN

Professional Seal & Signature

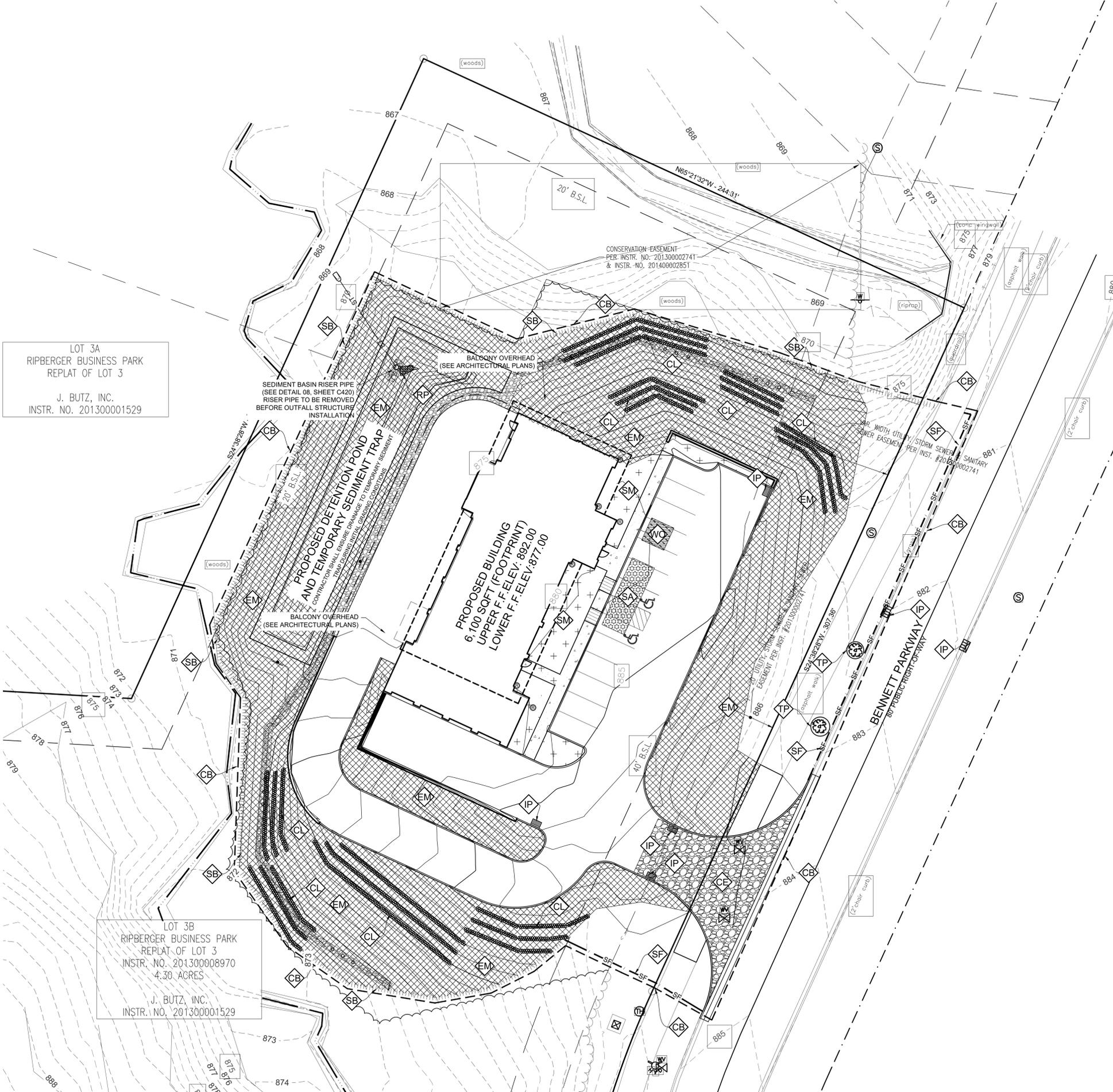
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Checked By: BJH
Date: 06/16/2020
Scale: 1" = 20'
Project No.: LW00261

C400



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Call before you dig.

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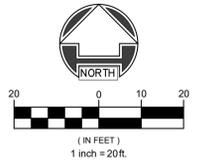


LOT 3A
RIPBERGER BUSINESS PARK
REPLAT OF LOT 3

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INSTR. NO. 201300001529

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No.	Revision/Issue	Date
01	PER CITY COMMENTS	07/10/20

**AES OFFICE BUILDING
10440 BENNETT PARKWAY
ZIONSVILLE, IN**
CONSTRUCTION EROSION CONTROL PLAN

Professional Seal & Signature

Drawn By: ETW
Checked By: BJH
Date: 06/16/2020
Scale: 1" = 20'
Project No.: LW00261

C401



ASSESSMENT OF CONSTRUCTION PLAN ELEMENTS (SECTION A)

- A1: INDEX SHOWING LOCATIONS OF REQUIRED PLAN ELEMENTS
A2: SITE PLAN OF BUILDING LOT NUMBERS/BOUNDARIES AND ROADS
A3: NATURE AND PURPOSE OF PROJECT
A4: PROJECT SITE VICINITY MAP
A5: LEGAL DESCRIPTION OF PROJECT SITE
A6: LOTS AND PROPOSED SITE IMPROVEMENTS
A7: HYDROLOGICAL UNIT CODE
A8: STATE OR FEDERAL WATER QUALITY PERMITS
A9: POINTS OF STORMWATER DISCHARGE FROM SITE
A10: ADJACENT WETLANDS, LAKES AND WATER COURSES
A11: RECEIVING VEGETATION
A12: POTENTIAL DISCHARGES TO GROUND WATER
A13: FLOODPLAINS, FLOODWAYS AND FLOODWAY FRINGES
A14: PRE-CONSTRUCTION/POST-CONSTRUCTION PEAK DISCHARGE
A15: ADJACENT LAND USE
A16: CONSTRUCTION LIMITS
A17: EXISTING VEGETATIVE COVER
A18: SOILS MAP AND SOIL DESCRIPTIONS



- A19: PROPOSED STORMWATER SYSTEMS
A20: OFF-SITE CONSTRUCTION ACTIVITIES
A21: PROPOSED SOIL STOCKPILES
A22: SITE TOPOGRAPHY
A23: FINAL SITE TOPOGRAPHY

EROSION CONTROL PLAN - CONSTRUCTION COMPONENT (SECTION B)

- B1: POTENTIAL POLLUTANT SOURCES ASSOCIATED WITH B1 CONSTRUCTION ACTIVITIES
B2: SEQUENCE OF EROSION CONTROL MEASURES IMPLEMENTATION
B3 - B9: APPROPRIATE EROSION CONTROL MEASURES
B10: CONSTRUCTION DETAILS FOR STORM WATER QUALITY MEASURES
B11: TEMPORARY SURFACE STABILIZATION METHODS

B12: PERMANENT SURFACE STABILIZATION METHODS

- AT THE PROPER TIME, WITH APPROVAL FROM THE OWNER, AND ONLY AFTER NOTIFYING THE SWCD AGENT, THE CONTRACTOR SHALL DISMANTLE THE REMAINING EROSION CONTROL ELEMENTS ONLY AS REQUIRED TO FINISH ALL GRADING...

Table with 4 columns: SEED SPECIES, RATE PER ACRE, PLANTING DEPTH, OPTIMUM DATES. Rows include Wheat or Rye, Spring Oats, Annual Ryegrass, German Millet, Sudangrass, Buckwheat, Corn/Broadcast, Sorghum.

B13: MATERIAL HANDLING AND SPILL PREVENTION PLAN

- IN ORDER TO MINIMIZE THE RELEASE OF POTENTIAL POLLUTANTS DURING CONSTRUCTION THE CONTRACTOR SHALL REVIEW THIS PLAN WITH ALL SUBCONTRACTORS AND REQUIRE THAT THEY IMPLEMENT THE PLAN AS WELL IF A SPILL SHOULD OCCUR PLEASE CONTACT THE APPROPRIATE AUTHORITIES BELOW:

CONSTRUCTION EQUIPMENT

- FUELING, LUBRICATION, AND FLUIDS. ALL OPERATIONS INVOLVING THE ADDITION OF FLUIDS TO EQUIPMENT SHOULD BE COMPLETED IN A SINGLE LOCATION SO THAT SPILLS ARE LIMITED TO THAT SPECIFIC LOCATION...

CONSTRUCTION MATERIALS AND THEIR PACKAGING

- EROSION CONTROL MEASURES SHOWN ON THESE PLANS SHALL BE IMPLEMENTED PRIOR TO AND DURING CONSTRUCTION IN THE PROPER SEQUENCE TO MINIMIZE SOIL EROSION. SOIL EROSION CONTROLS SHALL BE INSPECTED AND MAINTAINED AS DESCRIBED ELSEWHERE IN THESE PLANS...

CONCRETE WASTE WATER

- ALL CONCRETE WASTE WATER SHALL BE DISPOSED OF ONLY IN DESIGNATED CONCRETE WASHOUT AREAS. CONCRETE WASTE WATER SHALL BE DISCHARGED INTO A 4-HIGH, 10-DIAMETER DOUGHNUT-TYPE MULCH BERM...

B14: MONITORING & MAINTENANCE GUIDELINES

- A TRAINED INDIVIDUAL SHALL PERFORM A WRITTEN EVALUATION OF THE PROJECT SITE: BY THE END OF THE NEXT BUSINESS DAY FOLLOWING EACH 1/2 STORM EVENT...

MAINTENANCE OF SPECIFIC EROSION CONTROL MEASURES SHALL BE ACCORDING TO THE FOLLOWING:

- SEEDING OF DISTURBED AREAS
a. DISTURBED AREAS WILL BE SEEDDED AND MULCHED FOR TEMPORARY OR PERMANENT STABILIZATION AS PHASES OF THE PROJECT CONSTRUCTION ARE COMPLETED.

SILT FENCE MAINTENANCE REQUIREMENTS

- INSPECT THE SILT FENCE PERIODICALLY AND AFTER EACH STORM EVENT. IF FENCE FABRIC TEARS, STARTS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED PORTION IMMEDIATELY.

BRING THE DISTURBED AREA TO GRADE, AND STABILIZE.

STORM WATER BASIN MAINTENANCE REQUIREMENTS

- INSPECT THE STORM WATER BASIN AFTER EACH STORM EVENT. IMMEDIATELY REPAIR ANY EROSION AND PIPING HOLES.

EROSION CONTROL BLANKET (SURFACE APPLIED) MAINTENANCE REQUIREMENTS

- DURING VEGETATIVE ESTABLISHMENT, INSPECT AFTER STORM EVENTS FOR ANY EROSION BELOW THE BLANKET. IF ANY AREA SHOWS EROSION, PULL BACK THAT PORTION OF THE BLANKET COVERING IT, ADD SOIL, RE-SEED THE AREA, AND RE-LAY AND STAPLE THE BLANKET.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE MAINTENANCE REQUIREMENTS

- INSPECT ENTRANCE PAD AND SEDIMENT DISPOSAL AREA WEEKLY AND AFTER STORM EVENTS OR HEAVY USE. RESHAPE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL.

STRAW BALE AND ROCK CHECK DAM MAINTENANCE REQUIREMENTS

- INSPECT DAMS AFTER EACH STORM EVENT AND PROMPTLY REMOVE ANY SEDIMENT DEPOSITS TO ENSURE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN, TAKING CARE NOT TO UNDERMINE THE ENTRENCHED BALES AND/OR ROCK.

B15: EROSION AND SEDIMENT CONTROL SPECIFICATIONS FOR INDIVIDUAL BUILDING LOTS

- IF NEEDED, SEE TOWN OF ZIONSVILLE DETAILS

EROSION CONTROL PLAN - POST-CONSTRUCTION COMPONENT (SECTION C)

C1: POTENTIAL POLLUTANT SOURCES FROM PROPOSED LAND USE

- THE GREATEST AMOUNT OF POST CONSTRUCTION POLLUTANTS EXPECTED FROM THIS PROJECT WILL COME FROM THE VEHICLES THAT UTILIZE THE SITE. POTENTIAL POLLUTANTS FROM VEHICLES INCLUDE: GREASE, OIL, GASOLINE, DIESEL, ANTIFREEZE, BRAKE FLUID, METALS, RUBBER FRAGMENTS AND OTHER HYDROCARBONS...

C2: SEQUENCE OF EROSION CONTROL MEASURES IMPLEMENTATION

- ALL EXISTING EROSION CONTROL MEASURES AND MONITORING OF SUCH AS SHOWN ON THE PLAN WILL NOT BE REMOVED UNTIL FINAL STABILIZATION HAS OCCURRED. FINAL STABILIZATION OF THE SITE WILL BE ACCOMPLISHED USING PERMANENT SEEDING OF ALL OPEN AREAS...

C3: PROPOSED STORMWATER QUALITY MEASURES

- BUILDING OWNER WILL BE RESPONSIBLE TO MAINTAIN ALL PARKING AREAS ON A WEEKLY BASIS. THIS MAINTENANCE INCLUDES FREQUENT SWEEPINGS OF ALL PAVED SURFACES AS WELL AS COLLECTION OF ANY LITTER...

C4: CONSTRUCTION DETAILS AND SPECIFICATIONS

- PERMANENT STORMWATER QUALITY MEASURES INCLUDE SEEDDED AND STABILIZED GREEN AREAS. THE OWNER WILL PERFORM REGULAR MAINTENANCE AS OUTLINED IN STORMWATER BMP OPERATIONS AND MAINTENANCE MANUAL.

C5: MAINTENANCE GUIDELINES FOR STORMWATER MEASURES

- MAINTENANCE OF ALL STORMWATER POLLUTION PREVENTION MEASURES WILL BE THE RESPONSIBILITY OF THE PROJECT OWNER. UTILIZING PROCEDURES OUTLINED ON THESE PLANS, THE MAINTENANCE GUIDELINES CONSIST MOSTLY OF GOOD HOUSEKEEPING MEASURES...

CONTACT PERSON:

- NAME:
TITLE:
COMPANY:
PHONE NUMBER:



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Table with 3 columns: No., Revision/Issue, Date. Row 01: PER CITY COMMENTS, 07/10/20

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STORM WATER POLLUTION PREVENTION PLAN

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811 logo
Know what's below. Call before you dig.
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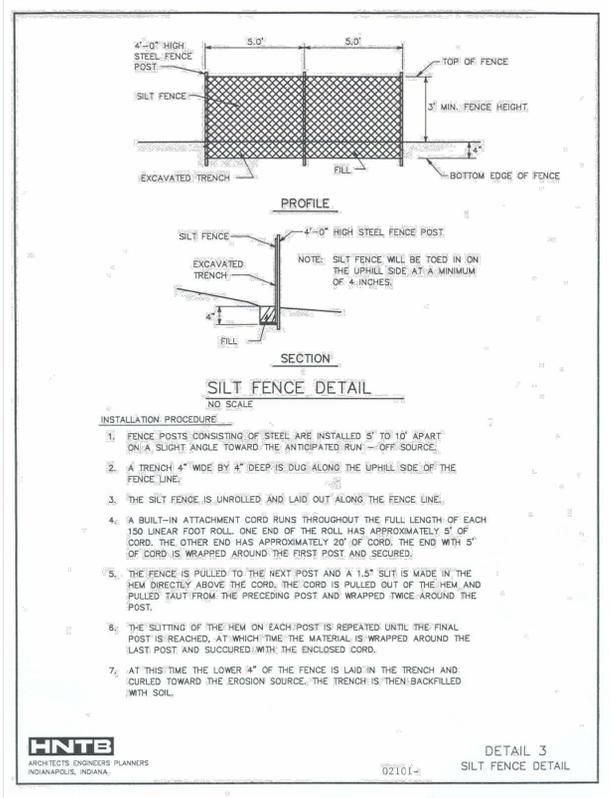
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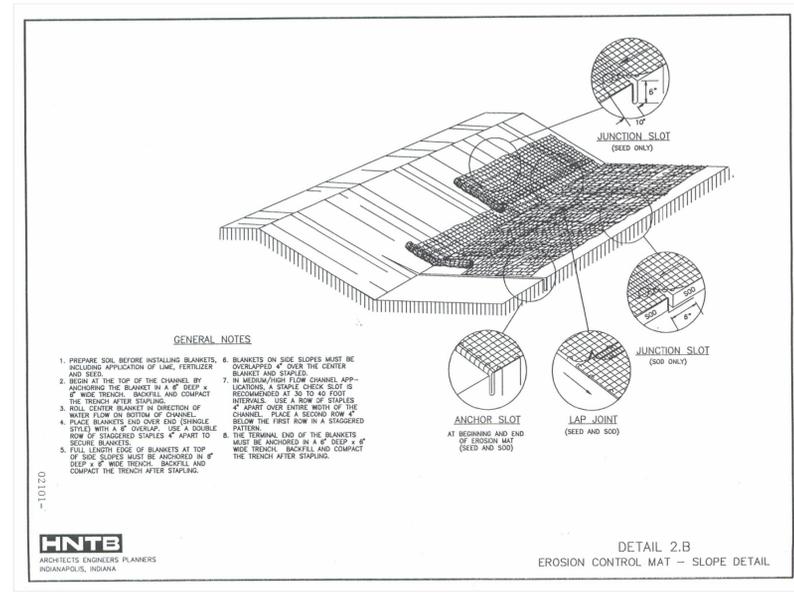
EROSION CONTROL DETAILS

Professional Seal & Signature

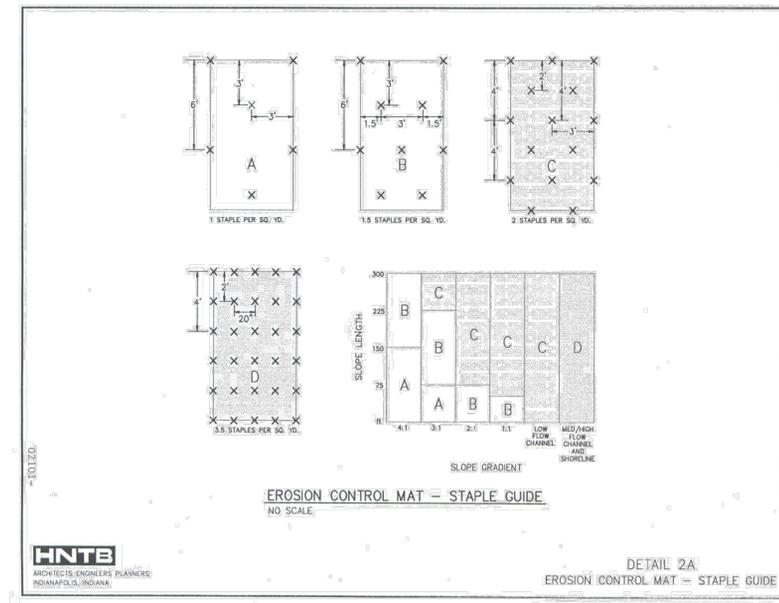
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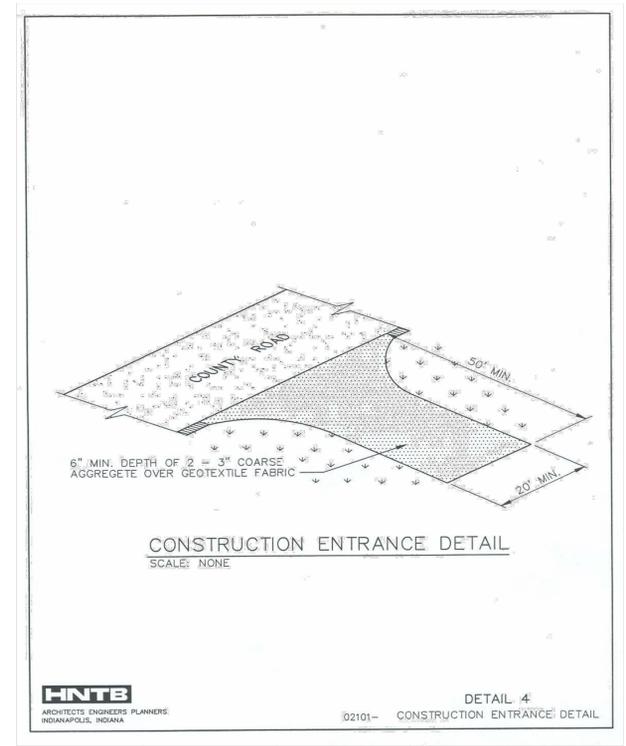
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Zionsville Standard (05/00)

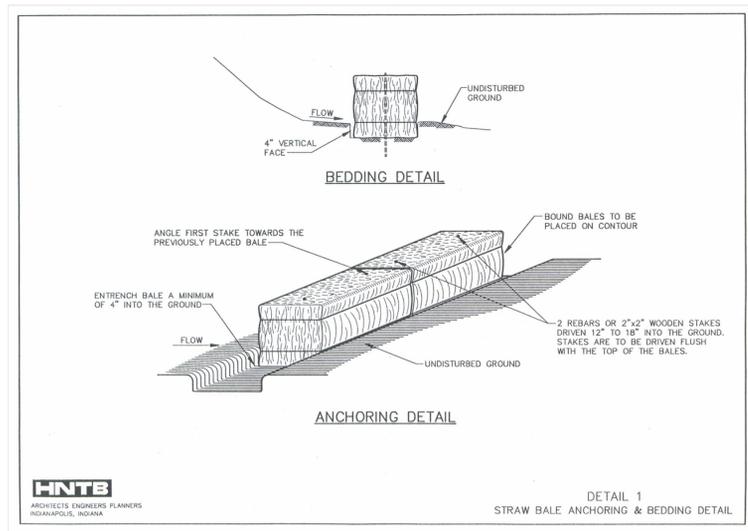


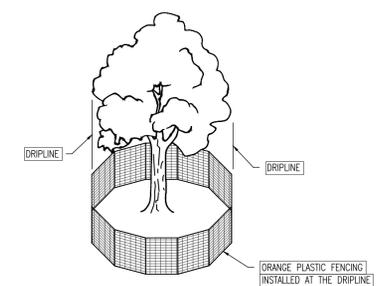
02101 - 6



END OF SECTION 02101
Zionsville Standard (05/00) 02101 - 9

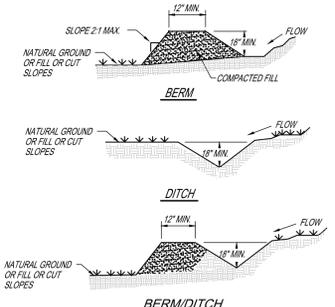
Zionsville Standard (05/00) 02101 - 5





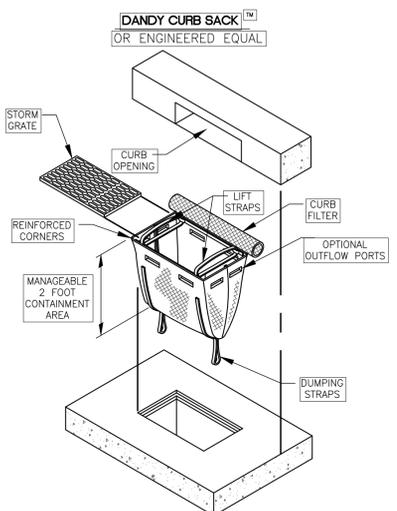
- Maintenance:**
- Inspect at least once every seven calendar days.
 - Repair perimeter barriers if damaged.
 - Inspect for damage from construction equipment, etc. Repair wounds simply by removing damaged bark and wood tissue. **Do not use tree paint.**
 - Cable and brace any trunk splits, weak forks, and large limbs.

07 NO SCALE
SINGLE TREE / SHRUB PRESERVATION AND PROTECTION



- NOTES:**
- POSITIVE GRADE MUST BE PROVIDED TO ASSURE DRAINAGE. IF SLOPE EXCEEDS 2%, SEED AND MULCH DIVERSION. TRY NOT TO EXCEED 5% (HIGH RUNOFF VELOCITIES RESULT). MAXIMUM DRAINAGE AREA IS 500 ACRES WITHOUT SUPPORTING CALCULATIONS FOR PERMANENT CHANNEL. DIVERSIONS AT THE TOPS OF SLOPES MUST EMPTY INTO AN APPROVED SLOPE DRAIN (SEE DETAILS). THE BERM/DITCH IS THE MOST COMMONLY USED DIVERSION.
 - MACHINE COMPACTION OF ALL FILL IS REQUIRED.
 - DIVERSIONS SUFFICIENT TO DIRECT ALL SEDIMENT-LADEN STORMWATER INTO SEDIMENT CONTROL DEVICE MUST BE INSTALLED PRIOR TO CLEARING AND GRUBBING OF AREA (OR IN CONJUNCTION WITH THIS OPERATION IF SEDIMENT CONTROLS AND DIVERSIONS ARE INSTALLED AT EACH CRITICAL POINT AS INDICATED).
 - DIVERSIONS SHOULD BE LOCATED TO MINIMIZE DAMAGES BY CONSTRUCTION OPERATIONS.
 - DIVERSIONS SHOULD BE SEEDED AND MULCHED IF THEY ARE TO REMAIN IN PLACE OVER 14 DAYS.
 - CHECK DIVERSIONS AFTER EACH RAIN, OR ONCE PER WEEK WHICH EVER IS THE SHORTER DURATION. REPAIR AS NEEDED TO MAINTAIN FUNCTION.

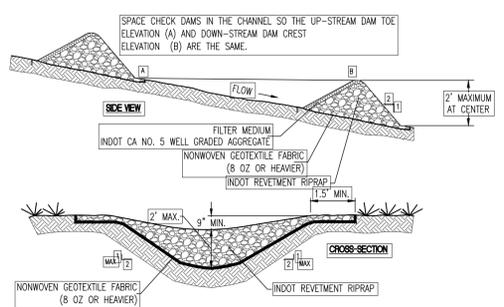
05 NO SCALE
DETAIL TEMPORARY DIVERSION BERM/DITCH



NOTE: THIS DANDY CURB SACK™ WILL BE MANUFACTURED IN THE U.S.A. FROM A WOVEN MONOPILAMENT FABRIC.

- INSTALLATION AND MAINTENANCE GUIDELINES**
- Installation**
- Remove the grate from the catch basin.
 - If using optional oil absorbents, place absorbent pillow in unit.
 - Stand the grate on end, move the top lifting straps out of the way and place the grate into the dandy sack so that the grate is below the top straps and above the lower straps.
 - Holding the lifting devices, insert the grate into the inlet.
 - Make sure the cylindrical portion is up against the curb opening to prevent silt and debris from entering the inlet.
- Maintenance**
- Inspect daily.
 - Remove all accumulated sediment after each storm event. Dispose of sediment in an area where it will not reenter the paved area or storm drains. To empty unit, lift the unit out of the inlet by using the lifting straps and remove the grate. If using optional oil absorbents, replace absorbent when near saturation. Contact: 708-867-8446
 - When contributing drainage area had been stabilized, remove inlet protection.

04 NO SCALE
INSERT (BAG) CURB INLET PROTECTION WITH CURB FILTER



NOTE: INDOT CA No. 8 aggregate is acceptable if No. 5 aggregate is not available. The use of No. 8 aggregate may result in more frequent overtopping of the structure and will increase the frequency of structure maintenance.

- Installation:**
- Lay out the location of the check dam.
 - Excavate a cutoff trench into the channel bottom and ditch banks, extending it a minimum of 18 inches beyond the top of the ditch bank.
 - Install and anchor filter fabric in the channel and cutoff trench.
 - Place riprap in the cutoff trench and channel to the lines and dimensions shown in the construction plans. The center of each dam must be at least nine inches lower than the uppermost points of contact between the riprap dam and channel banks.
 - Extend the riprap at least 18 inches beyond the top of the channel banks to keep overflow water from eroding areas adjacent to the channel banks before it re-enters the channel.
 - Place filter medium (INDOT CA No. 5 aggregate) on the up-slope side of the dam. Place filter medium over the entire face of the dam up to the base of the overflow weir notch.
 - Stabilize the channel above the uppermost dam.
 - Install an erosion-resistant lining in the channel below the lowermost dam. The lining should extend a minimum distance of six feet below the dam.
 - Additional sediment storage can be provided by excavating a small sediment trap on the upstream side of the check dam.

- Maintenance:**
- Inspect within 24 hours of each rain event and at least once every seven calendar days.
 - If significant erosion occurs between dams, install an erosion-resistant liner in that portion of the channel.
 - Remove accumulated sediment when it reaches one-half the height of the dam to maintain channel capacity, allow drainage through the dam, and prevent large flow from displacing sediment.
 - Add riprap and aggregate as needed to maintain design height and cross section of the dams.
 - When dams are no longer needed, remove the riprap and aggregate and stabilize the channel, using an erosion-resistant lining if necessary. (Riprap and aggregate from the dam may be removed or utilized to stabilize the channel.)

06 NO SCALE
ROCK CHECK DAM

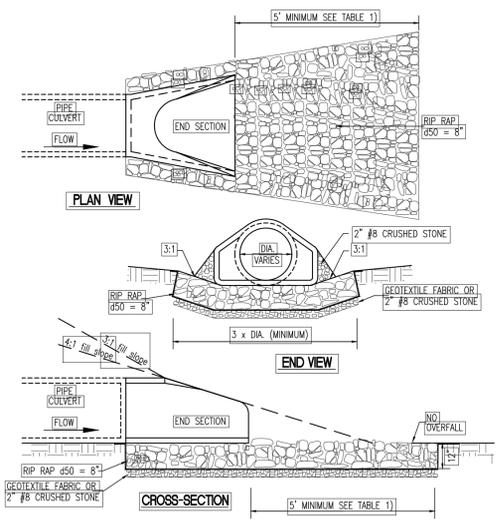
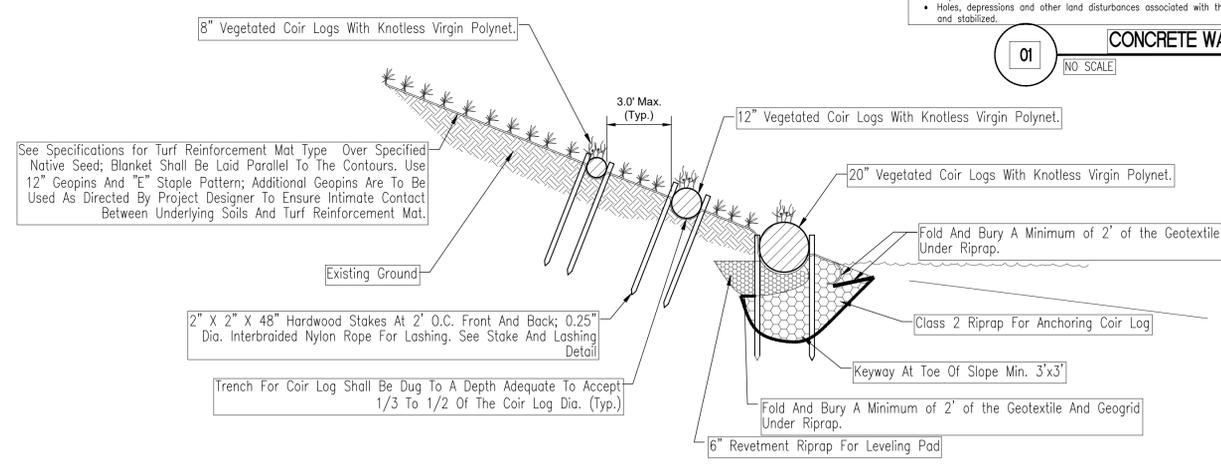


Table 1 Sizing for Flow Dissipators at Culvert Pipe Outlet

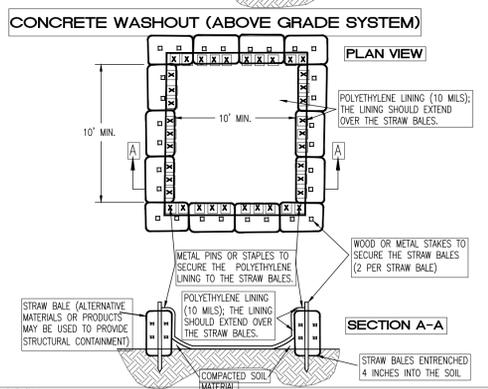
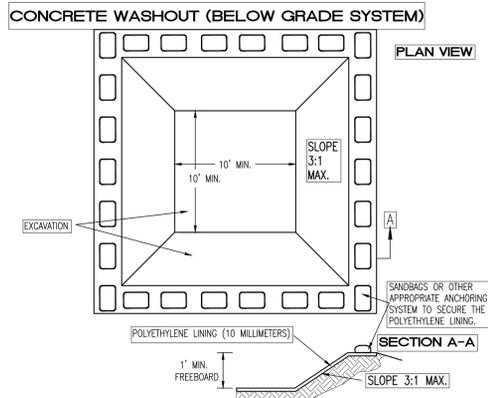
Pipe Size	Average Riprap Diameter	Apron Width	Apron Length
6 in.	3 in.	2 to 3 ft.	5 to 7 ft.
12 in.	5 in.	3 to 4 ft.	6 to 12 ft.
18 in.	8 in.	4 to 6 ft.	8 to 18 ft.
24 in.	10 in.	6 to 8 ft.	12 to 22 ft.
30 in.	12 in.	8 to 10 ft.	14 to 28 ft.
36 in.	14 in.	10 to 12 ft.	16 to 32 ft.

- Installation:**
- Divert surface water runoff around the structure during construction so that the site can be properly dewatered for foundation preparation.
 - Excavate foundation and apron area subgrades below design elevation to allow for thickness of the filter medium and riprap.
 - Compact any fill used in subgrade preparation to the density of surrounding undisturbed soil material.
 - Smooth subgrade enough to protect geotextile fabric from tearing.
 - Place geotextile fabric or aggregate bedding material (for stabilization and filtration) on the compacted and smoothed foundation.
 - Install riprap to the lines and elevations shown in the construction plans. Blend riprap smoothly to surrounding grade. If the channel is well defined, extend the apron across the channel bottom and up the channel banks to an elevation of six inches above the maximum fullwater depth or to the top of the bank, whichever is less.
 - If geotextile fabric tears when placing riprap, repair immediately by laying and stapling a piece of fabric over damaged area, overlapping the undamaged areas by at least 12 inches.
 - Construct a small plunge pool within the outlet apron. (Riprap aprons must be level with or slightly lower than the receiving channel and should not produce an overflow or restrict flow of the water conveyance structure.)
- Maintenance:**
- Inspect within 24 hours of a rain event and at least once every seven calendar days.
 - Inspect for stone displacement; replace stones ensuring placement of finished grade.
 - Check for erosion or scouring around sides of the apron; repair immediately.
 - Check for piping or undercutting; repair immediately.

02 NO SCALE
CONCRETE WASHOUT DETAIL RIPPAP DETAIL (LOWER INVERT)

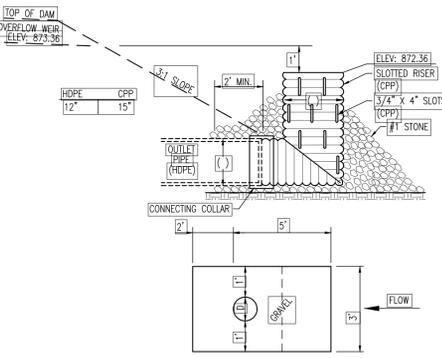


03 NO SCALE
VEGETATED COIR LOG TYPICAL CROSS SECTION



- Installation:**
- Prefabricated Washout Systems/Containers**
- Install and locate according to the manufacturer's recommendations.
- Designed and Installed Systems**
- Utilize and follow the design in the storm water pollution prevention plan to install the system.
 - Dependent upon the type of system, either excavate the pit or install the containment system.
 - A base shall be constructed and prepared that is free of rocks and other debris that may cause tears or punctures in the polyethylene lining.
 - Install the polyethylene lining. For excavated systems, the lining should extend over the entire excavation. The lining for bermed systems should be installed over the pooling area with enough material to extend the lining over the berm or containment system. The lining should be secured with pins, staples, or other fasteners.
 - Place flags, safety fencing, or equivalent to provide a barrier to construction equipment and other traffic.
 - Place a non-slippling, non-water holding cover over the washout facility prior to a predicted rainfall event to prevent accumulation of water and possible overflow of the system (optional).
 - Install signage that identifies concrete washout areas.
 - Post signs directing contractors and suppliers to designated locations.
 - Where necessary, provide stable ingress and egress or alternative approach pad for concrete washout systems.
- Maintenance:**
- Inspect daily and after each storm event.
 - Inspect the integrity of the overall structure including, where applicable, the containment system.
 - Inspect the system for leaks, spills, and tracking of soil by equipment.
 - Inspect the polyethylene lining for failure, including tears and punctures.
 - Once concrete wastes harden, remove and dispose of the material.
 - Excess concrete should be removed when the washout system reaches 50 percent of the design capacity. Use of the system should be discontinued until appropriate measures can be initiated to clean the structure. Prefabricated systems should also utilize this criterion, unless the manufacturer has alternate specifications.
 - Upon removal of the solids, inspect the structure. Repair the structure as needed or construct a new system.
 - Dispose of all concrete in a legal manner. Reuse the material on site, recycle, or haul the material to an approved construction/demolition landfill site. Recycling of material is encouraged. The waste material can be used for multiple applications including but not limited to roadbeds and building. The availability for recycling should be checked locally.
 - The plastic liner should be replaced after every cleaning; the removal of material will usually damage the lining.
 - The concrete washout system should be repaired or enlarged as necessary to maintain capacity for concrete waste.
 - Concrete washout systems are designed to promote evaporation. However, if the liquids do not evaporate and the system is near capacity it may be necessary to vacuum or remove the liquids and dispose of them in an acceptable manner. Disposal may be allowed at the local sanitary sewer authority provided their National Pollutant Discharge Elimination System permits allow for acceptance of this material. Another option would be to utilize a secondary containment system or basin for further dewatering.
 - Prefabricated units are often pumped and the company supplying the unit provides this service.
 - Inspect construction activities on a regular basis to ensure suppliers, contractors, and others are utilizing designated washout areas. If concrete waste is being disposed of improperly, identify the violators and take appropriate action.
 - When concrete washout systems are no longer required, the concrete washout systems shall be closed. Dispose of all hardened concrete and other materials used to construct the system.
 - Holes, depressions and other land disturbances associated with the system should be backfilled, graded, and stabilized.

01 NO SCALE
CONCRETE WASHOUT DETAIL



08 NO SCALE
SLOTTED RISER FOR TEMPORARY SEDIMENT BASIN

LandWorx Engineering, LLC
1828 Central Ave., Suite 201
Indianapolis, Indiana 46202
317.616.0177
LANDWORX

Client Name & Address
CURRAN ARCHITECTURE
7519 LAWTON LOOP E DR
SUITE 212
INDIANAPOLIS, IN 46216
317.288.0681
http://curran-architecture.com

CURRAN ARCHITECTURE

No.	Revision/Issue	Date
01	PER CITY COMMENTS	07/10/20

AES OFFICE BUILDING
10440 BENNETT PARKWAY
ZIONSVILLE, IN
EROSION CONTROL DETAILS

Professional Seal & Signature

Drawn By: ETW
Checked By: BJH
Date: 06/16/2020
Scale: As Noted
Project No.: LW00261

811
Know what's below.
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C421

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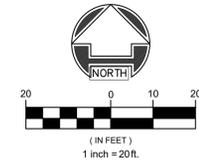


No.	Revision/Issue	Date
01	PER CITY COMMENTS	07/10/20

AES OFFICE BUILDING
10440 BENNETT PARKWAY
ZIONSVILLE, IN
UTILITY PLAN

Professional Seal & Signature

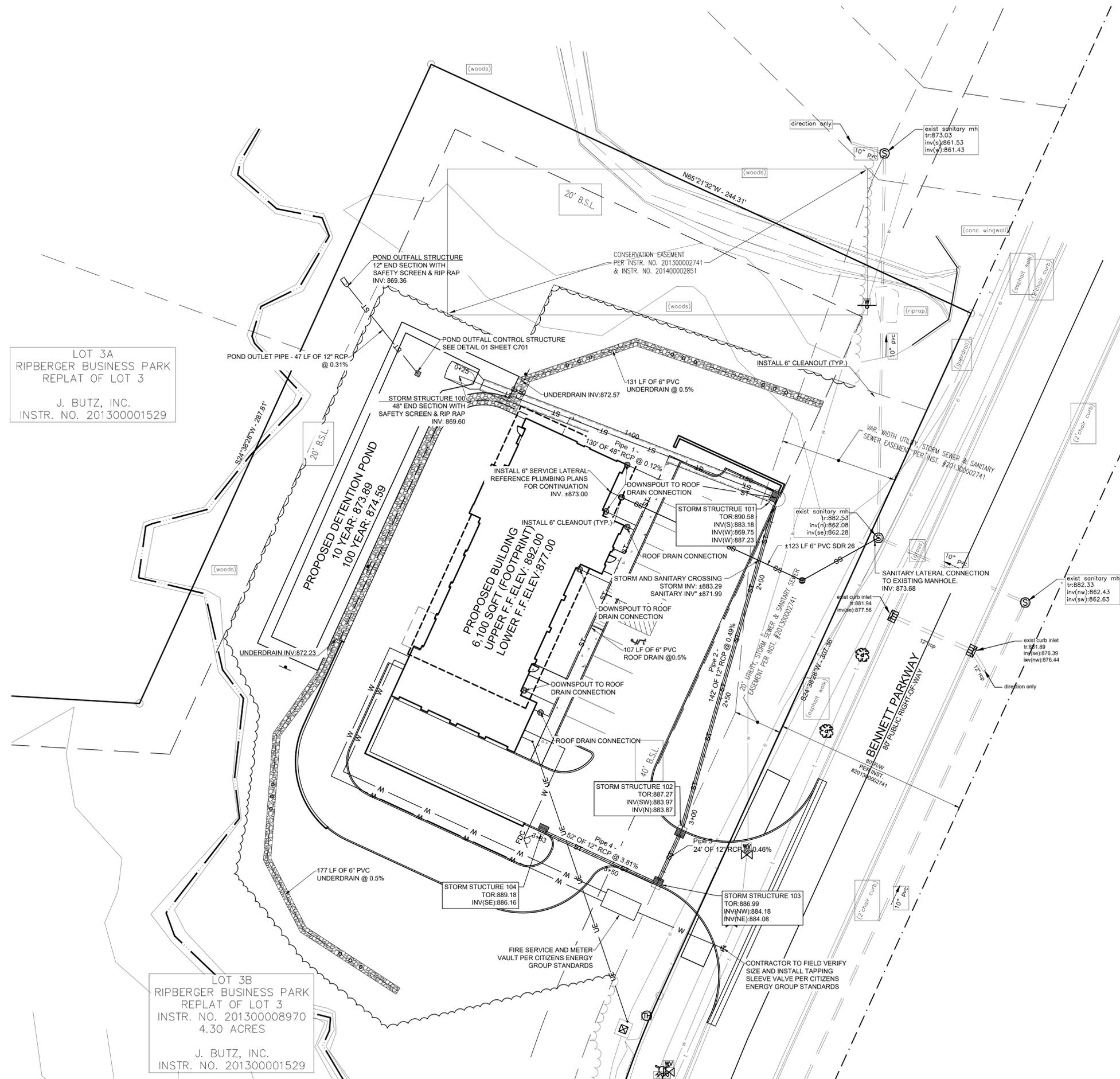
Drawn By: ETW	Sheet
Checked By: BJH	
Date: 06/16/2020	C500
Scale: 1" = 20'	
Project No: LW00261	



PROPOSED UTILITY LEGEND:

SYMBOL	DESCRIPTION:
⊙	PROPOSED SANITARY MANHOLE
⊕	PROPOSED CLEAN OUT
⊙	PROPOSED WATER METER
⊙	PROPOSED GAS METER
⊙	PROPOSED ELECTRIC METER
⊕	PROPOSED ELECTRIC TRANSFORMER
⊕	PROPOSED FIRE HYDRANT
⊕	PROPOSED WATER VALVE
⊕	PROPOSED THRUST BLOCK
⊕	PROPOSED POST INDICATOR VALVE
⊕	PROPOSED FIRE DEPARTMENT CONNECTION
—E—	PROPOSED ELECTRIC LINE
—T—	PROPOSED TELEPHONE LINE
—W—	PROPOSED WATER LINE
—G—	PROPOSED GAS LINE
—FP—	PROPOSED FIRE PROTECTION LINE
—T/E—	PROPOSED TELEPHONE & ELECTRIC LINE

- UTILITY NOTES:**
- THE UTILITIES INDICATED ON THESE PLANS AND ON THE SURVEY MAY NOT BE A COMPLETE INVENTORY OF ALL THE EXISTING UTILITIES PRESENT ON AND AROUND THE SITE. THE LOCATION AND SIZE OF THESE UTILITIES MAY BE APPROXIMATE. THE ENGINEER SHALL NOT BE HELD LIABLE FOR ANY INACCURATE UTILITY INFORMATION INDICATED, IMPLIED, OR NOT INDICATED ON THESE PLANS.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND MAINTAIN IN SERVICE ALL EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION UNLESS OTHERWISE INDICATED IN THE DRAWINGS. ANY PIPING WHICH CAN BE REMOVED DURING CONSTRUCTION WITHOUT UNDUE INTERRUPTION OF SERVICE MAY BE REMOVED AND REPLACED BY THE CONTRACTOR, AT HIS EXPENSE WITH THE PERMISSION OF THE OWNER.
 - BEFORE WORKING WITH OR AROUND EXISTING UTILITIES, THE APPLICABLE UTILITY COMPANY SHALL BE CONTACTED BY THE CONTRACTOR.
 - WHEN CONNECTIONS ARE TO BE MADE TO EXISTING PIPING AND STRUCTURES OR WHERE CONSTRUCTION IS IN THE VICINITY OF EXISTING PIPING THE LOCATION AND ELEVATION OF THE EXISTING PIPING SHALL BE FIELD VERIFIED AND NOTIFICATION GIVEN TO THE OWNER IF THE EXISTING PIPING IS FOUND TO BE DIFFERENT THAN THAT SHOWN ON THE DRAWINGS.
 - FOR CLARITY OF THESE DRAWINGS, PIPES MAY NOT BE DRAWN TO SCALE OR EXACTLY LOCATED.
 - ALL NEW WATER LINES SHALL HAVE A MINIMUM OF 54 INCHES OF COVER.
 - MINIMUM OF 18 INCHES OF VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN NEW WATER AND SANITARY SEWER LINES. IF 18 INCHES OF CLEARANCE IS NOT PROVIDED THEN THE SEWER MUST BE CONSTRUCTED OF WATER WORKS GRADE DUCTILE IRON PIPE WITH MECHANICAL JOINTS OR PVC (SDR-26) PIPE WITH GASKETTED, COMPRESSION-TYPE JOINTS WITHIN TEN FEET OF THE WATER LINE.
 - NEW 6" SANITARY LATERALS SHALL BE SDR-35, SCHEDULE 80 OR SCHEDULE 40 PVC PIPE CONFORMING TO ASTM D2241, AND SHALL MEET THE DEFLECTION STANDARDS OF ASTM D-3303.
 - WHEN CONNECTIONS ARE TO BE MADE TO EXISTING PIPING AND STRUCTURES OR WHERE CONSTRUCTION IS IN THE VICINITY OF EXISTING PIPING THE LOCATION AND ELEVATION OF THE EXISTING PIPING SHALL BE FIELD VERIFIED AND NOTIFICATION GIVEN TO THE OWNER IF THE EXISTING PIPING IS FOUND TO BE DIFFERENT THAN THAT SHOWN ON THE DRAWINGS.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR OR CONTRACTORS TO OBTAIN ALL FEDERAL, STATE, COUNTY, CITY OR LOCAL PERMITS FOR ANY AND ALL WORK REQUIRED UNLESS OTHERWISE NOTED. THE CONTRACTOR OR CONTRACTORS ARE RESPONSIBLE TO PAY FOR ALL REQUIRED PERMITS BY ANY OR ALL AGENCIES MENTIONED ABOVE UNLESS OTHERWISE NOTED IN THE CONTRACT OR SPECIFICATIONS. ALL ASSOCIATED BONDING REQUIREMENTS AND COSTS ARE INCIDENTAL TO THE CONTRACT.
 - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND ELEVATIONS DURING THE ENTIRE CONSTRUCTION SCHEDULE. IF ANY DISCREPANCIES ARE FOUND IN THESE ENGINEERING PLANS FROM ACTUAL FIELD DIMENSIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
 - ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.



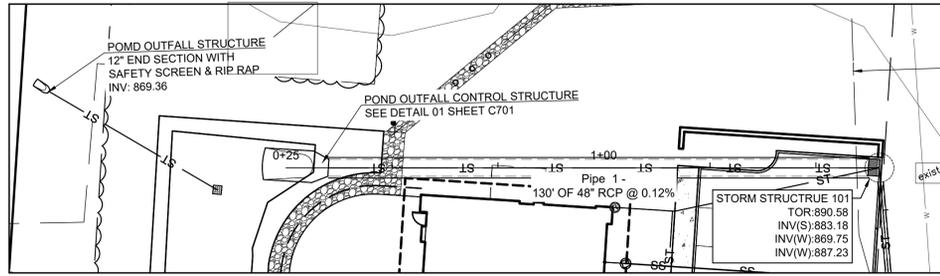
LOT 3A
RIPBERGER BUSINESS PARK
REPLAT OF LOT 3

J. BUTZ, INC.
INSTR. NO. 201300001529

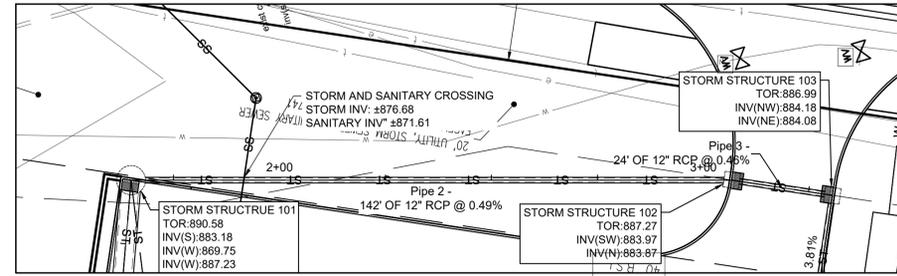
LOT 3B
RIPBERGER BUSINESS PARK
REPLAT OF LOT 3
INSTR. NO. 201300008970
4.30 ACRES

J. BUTZ, INC.
INSTR. NO. 201300001529

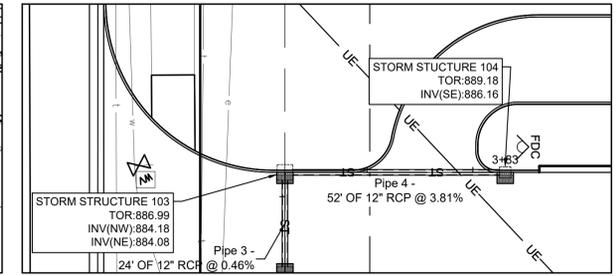




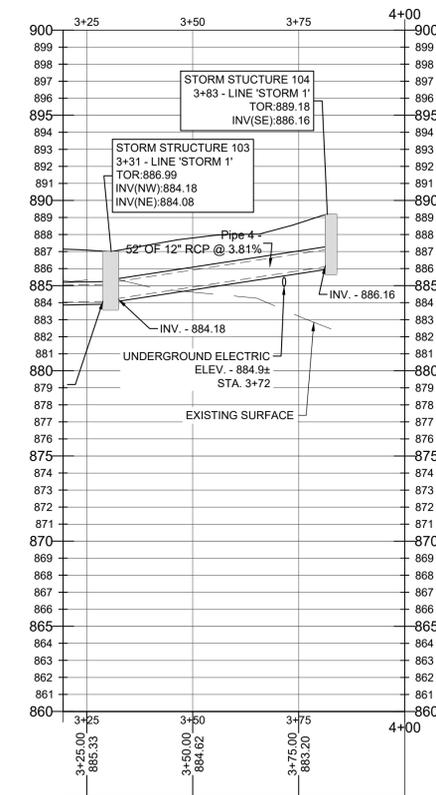
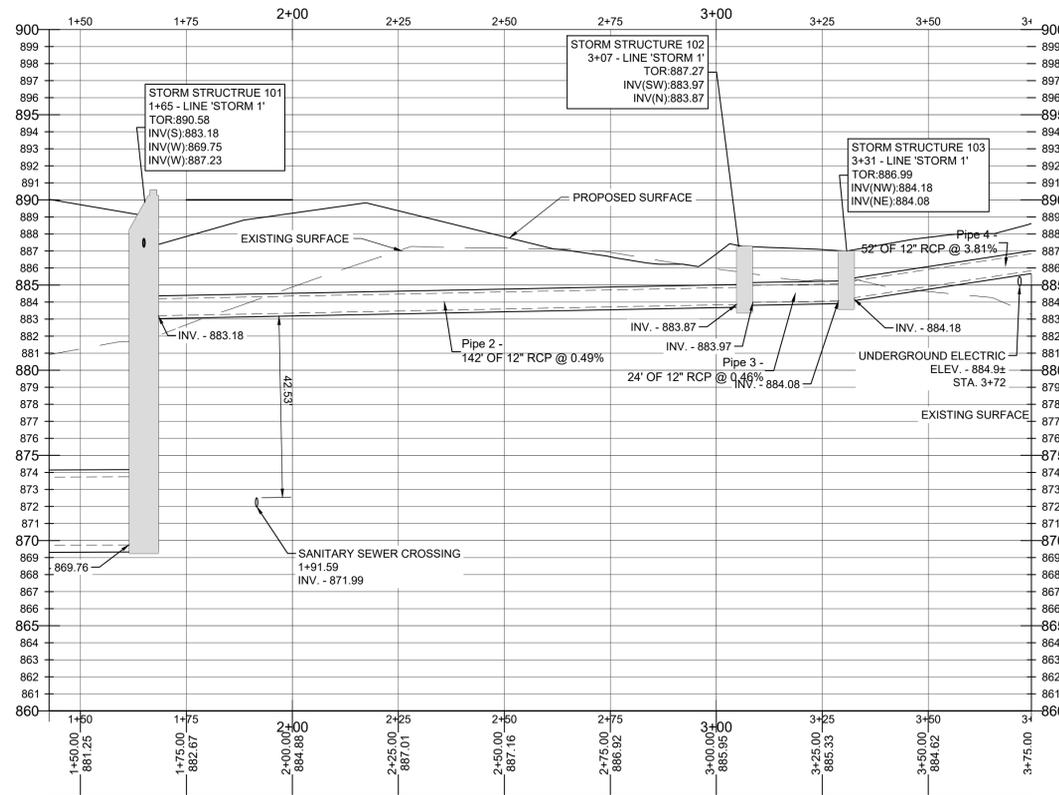
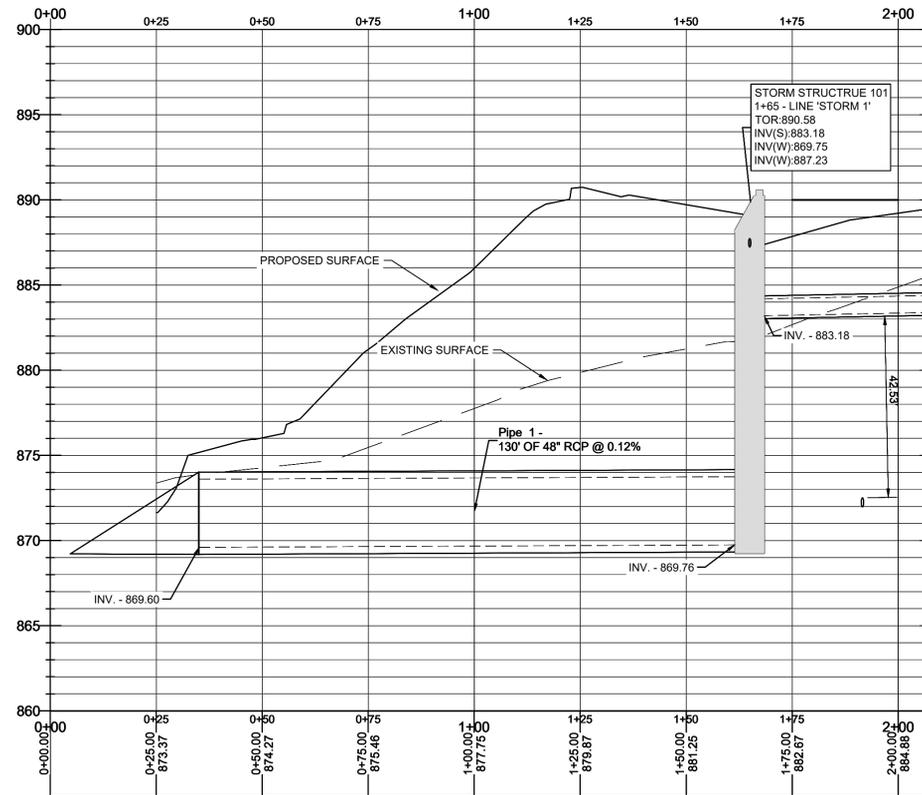
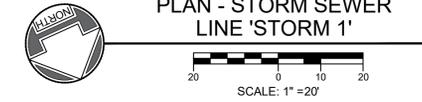
PLAN - STORM SEWER LINE 'STORM 1'



PLAN - STORM SEWER LINE 'STORM 1'



PLAN - STORM SEWER LINE 'STORM 1'



PROFILE: ALIGNMENT "STORM 1"

HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 5'

STORM STRUCTURE DATA TABLE:			
STRUCTURE NAME:	STR DETAILS:	PIPES IN:	PIPES OUT:
STORM STRUCTURE 101	STORM MAN HOLE 72" DIAMETER TOR: 890.58 INV(S): 883.18 INV(W): 869.75 INV(W): 887.23	Pipe 2 - 142 LF 12" RCP @ 0.49% INV: 883.18 ROOFDRAIN - 6" PVC @ 0.5% INV: 887.23	Pipe 1 - 130 LF 48" RCP @ 0.12% INV: 869.75
STORM STRUCTURE 102	24 x 36 inch Inlet Structure TOR: 887.27 INV(SW): 883.97 INV(N): 883.87	Pipe 2 - 24 LF 12" RCP @ 0.46% INV: 883.97	Pipe 2 - 142 LF 12" RCP @ 0.49% INV: 883.87
STORM STRUCTURE 103	24 x 36 inch Inlet Structure TOR: 886.99 INV(NW): 884.18 INV(NE): 884.08	Pipe 4 - 52 LF 12" RCP @ 3.81% INV: 884.18	Pipe 3 - 24 LF 12" RCP @ 0.46% INV: 884.08
STORM STRUCTURE 104	24 x 36 inch Inlet Structure TOR: 889.18 INV(SE): 886.16		Pipe 4 - 52 LF 12" RCP @ 3.81% INV: 886.16

PLAN & PROFILE NOTES:

- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS. IF ANY DISCREPANCIES ARE FOUND IN THESE PLANS FROM THE ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- THE EXCAVATING CONTRACTOR MUST TAKE PARTICULAR CARE WHEN EXCAVATING IN AND AROUND EXISTING UTILITY LINES AND EQUIPMENT. VERIFY COVER REQUIREMENTS BY UTILITY CONTRACTORS AND/OR UTILITY COMPANIES SO AS NOT TO CAUSE DAMAGE.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS BEFORE CONSTRUCTION IS TO START, TO VERIFY IF ANY UTILITIES ARE PRESENT ON SITE. ALL VERIFICATIONS (LOCATION, SIZE AND DEPTH) SHALL BE MADE BY THE APPROPRIATE UTILITY COMPANIES. WHEN EXCAVATING IS AROUND OR OVER EXISTING UTILITIES, THE CONTRACTOR MUST NOTIFY THE UTILITY COMPANY SO A REPRESENTATIVE OF THAT UTILITY COMPANY CAN BE PRESENT TO INSTRUCT AND OBSERVE DURING CONSTRUCTION.
- TRENCHES FOR ALL STORM DRAIN LINES SHALL BE BACKFILLED COMPLETELY WITH ENGINEERED GRANULAR MATERIAL, IF WITHIN 5 FEET OF PAVEMENT.
- AFTER STRIPPING TOPSOIL MATERIAL, PROOFROLL WITH A MEDIUM WEIGHT ROLLER TO DETERMINE LOCATIONS OF ANY POCKETS OF UNSUITABLE MATERIAL. THE NECESSITY FOR SUBDRAINS AND/OR REMOVAL OF ANY UNSUITABLE MATERIAL WITHIN THE PROPOSED PARKING AREAS WILL BE DETERMINED AT THE TIME OF CONSTRUCTION. PROVIDE POSITIVE DRAINAGE WITHOUT PONDING, IN ALL AREAS, AFTER INSTALLATION, CONTRACTOR TO TEST FOR, AND CORRECT, IF ANY, "BIRD BATH" CONDITIONS.
- TOR = TOP OF RIM AND REFLECTS PAVEMENT GRADE.
- SPECIAL HYDRAULIC STRUCTURES REQUIRED TO CONTROL THE FLOW OF WATER IN STORM RUNOFF DRAINAGE SYSTEMS INCLUDE JUNCTION CHAMBERS, DROP MANHOLES, STILLING BASINS, AND OTHER SPECIAL STRUCTURES. THE USE OF THESE STRUCTURES SHALL BE LIMITED TO THOSE LOCATIONS JUSTIFIED BY PRUDENT PLANNING AND BY CAREFUL AND THOROUGH HYDRAULIC ENGINEERING ANALYSIS. CERTIFICATION OF SPECIAL STRUCTURES BY A CERTIFIED STRUCTURAL ENGINEER MAY ALSO BE REQUIRED.



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Client Name & Address
CURRAN ARCHITECTURE
7519 LAWTON LOOP E DR
SUITE 212
INDIANAPOLIS, IN 46216
317.288.0681
http://curran-architecture.com

No.	Revision/Issue	Date
01	PER CITY COMMENTS	07/10/20

AES OFFICE BUILDING
10440 BENNETT PARKWAY
ZIONSVILLE, IN
STORM SEWER PLAN AND PROFILE

Professional Seal & Signature

Drawn By: ETW
Checked By: BJH
Date: 06/16/2020
Scale: 1" = 20'
Project No.: LW00261

C510

G:\My Drive\00261 - Bennett Parkway Office Building\Design\CAD\00261_C500.dwg Evan West Plot: 7/10/2020 3:45 PM Save: 7/10/2020 3:16 PM

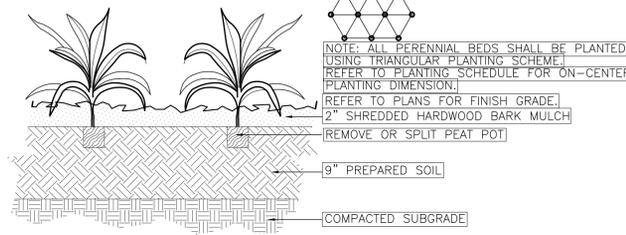
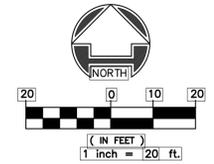
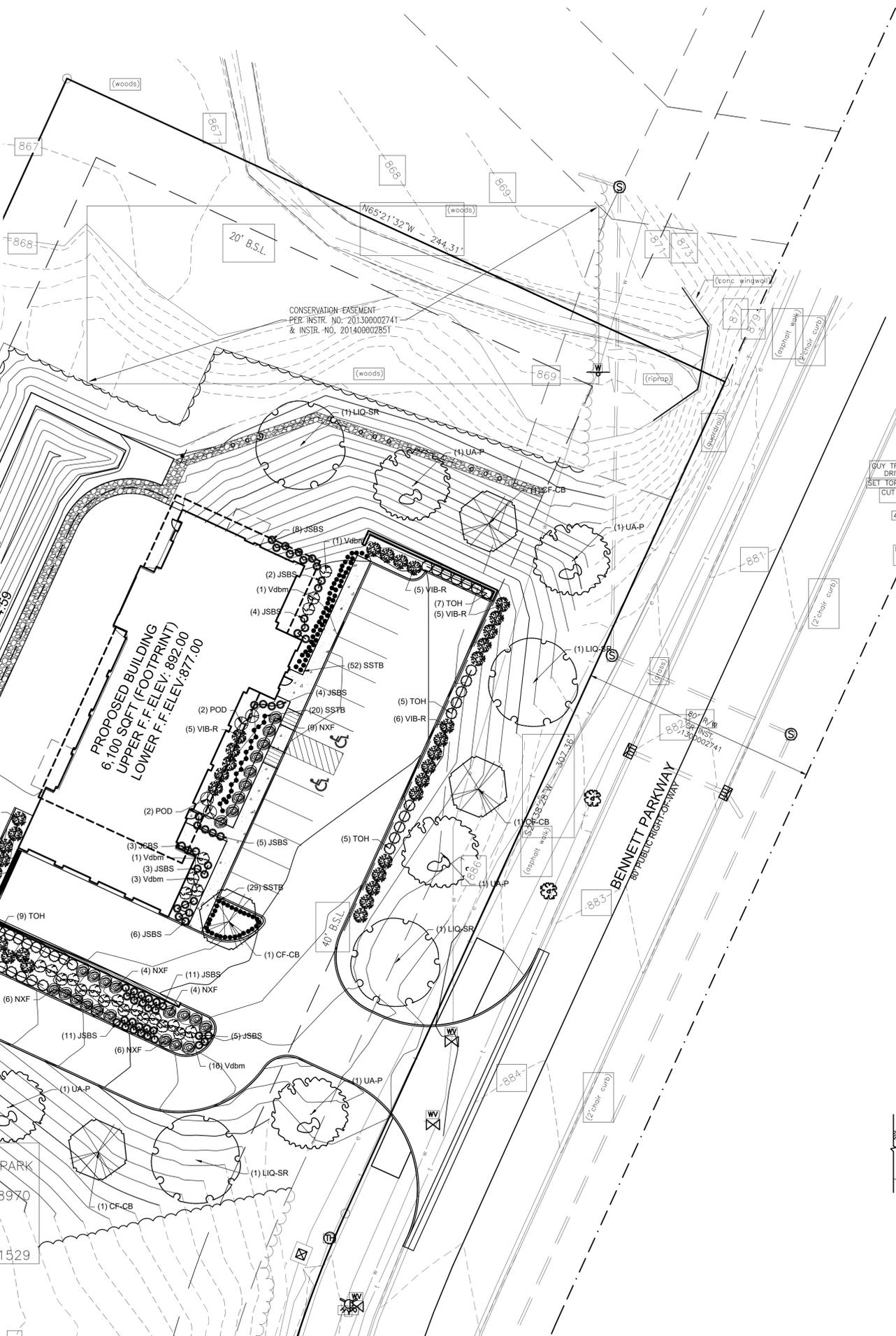
PLANT SCHEDULE:						
TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	DISTRIBUTION
LIQ-A	5	Liquidambar styraciflua 'Rotundiloba'	ROUND-LOBED SWEETGUM	2.5' CAL.	B&B	AS SHOWN
UA-P	5	Ulmus americana 'Princeton'	PRINCETON AMERICAN ELM	2.5' CAL.	B&B	AS SHOWN
CF-CB	4	Cornus florida 'Cherokee Brave'	CHEROKEE BRAVE FLOWERING DOGWOOD	1.5' CAL.	B&B	AS SHOWN
SHURBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	DISTRIBUTION
POD	4	Physocarpus opulifolius 'Diaby'	DIABOLO NINEBARK	#5		AS SHOWN
Vdbm	23	Viburnum dentatum 'Blue Muffin'	ARROWWOOD VIBURNUM	#5		AS SHOWN
VIB-R	40	Viburnum rhytidophyllum	LEATHERLEAF VIBURNUM	#5		AS SHOWN
JSBS	62	Juniperus squamata 'Blue Star'	FLAKY JUNIPER 'BLUE STAR'	#3		AS SHOWN
TOH	35	Thuja occidentalis 'Holmstrup'	HOLMSTRUP ARBORVITAE	#5		AS SHOWN
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
NXF	26	Nepeta x faassenii 'Walker's Low'	WALKER'S LOW CATMINT	#1		AS SHOWN
SSTB	101	Schizachyrium scoparium 'The Blues'	THE BLUES LITTLE BLUESTEM	#3		2' O.C.

LOT 3A
RIPBERGER BUSINESS PARK
REPLAT OF LOT 3

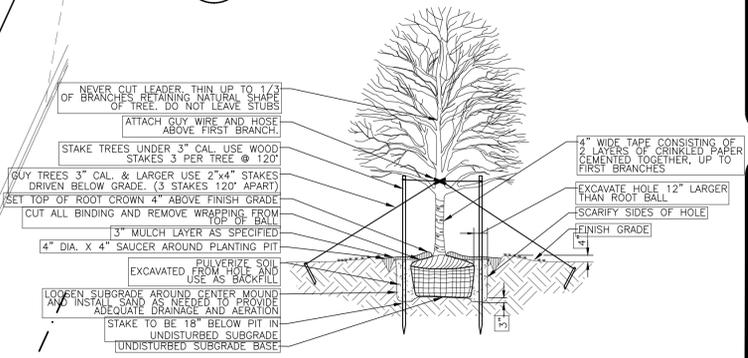
J. BUTZ, INC.
INSTR. NO. 201300001529

LOT 3B
RIPBERGER BUSINESS PARK
REPLAT OF LOT 3
INSTR. NO. 201300008970
4.30 ACRES

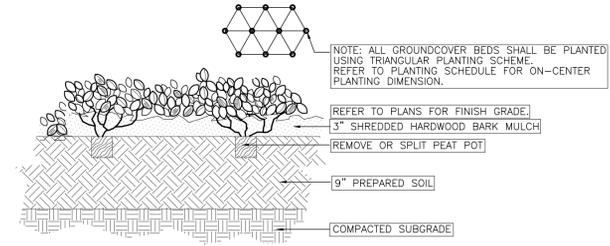
J. BUTZ, INC.
INSTR. NO. 201300001529



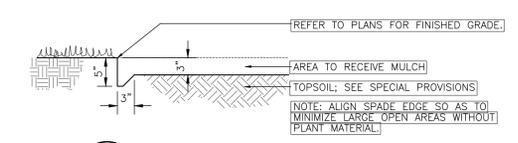
01 PERENNIAL PLANTING
NO SCALE



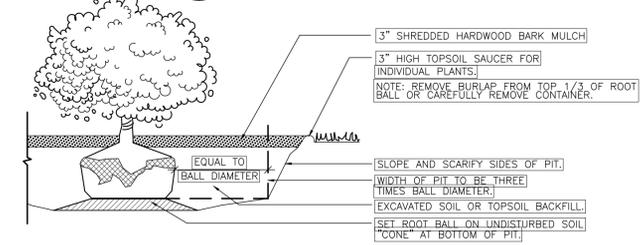
02 SHADE TREE PLANTING DETAIL
NO SCALE



03 GROUND COVER PLANTING
NO SCALE



04 SPADE EDGE
NO SCALE



05 SHRUB PLANTING DETAIL
NO SCALE



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Indianapolis, Indiana 46202
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INDIANAPOLIS, IN 46216
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http://curran-architecture.com
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No.	Revision/Issue	Date
01	PER CITY COMMENTS	07/10/20

AES OFFICE BUILDING
10440 BENNETT PARKWAY
ZIONSVILLE, IN
LANDSCAPE PLAN

Professional Seal & Signature

Drawn By: ETW
Checked By: BJH
Date: 06/16/2020
Scale: 1" = 20'
Project No.: LW00281
Sheet: **C600**

G:\My Drive\02261 - Bennett Parkway Office Building\Design\CAD\02261_C600.dwg - Even West Plot: 7/10/2020 3:45 PM - Save: 7/10/2020 3:17 PM

No.	Revision/Issue	Date
01	PER CITY COMMENTS	07/10/20

**AES OFFICE BUILDING
10440 BENNETT PARKWAY
ZIONSVILLE, IN
CONSTRUCTION DETAILS**

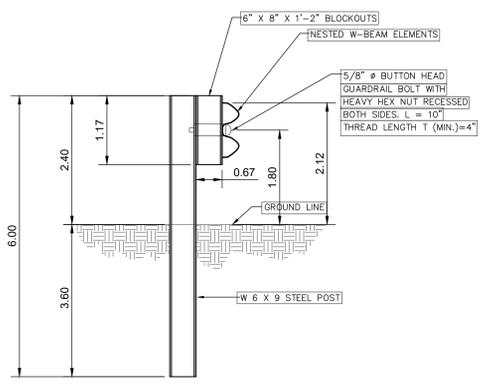
Professional Seal & Signature

Drawn By: ETW	Sheet:
Checked By: BJH	C700
Date: 06/16/2020	Scale: As Noted
Project No.: LW00281	

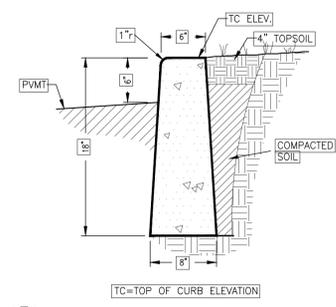


** COMPLIANCE SIGNS.COM "Portrait OSHA NOTICE Detention Pond No Sign With Symbol ONEP-34586" OR ENGINEER APPROVED EQUIVALENT TO BE USED.

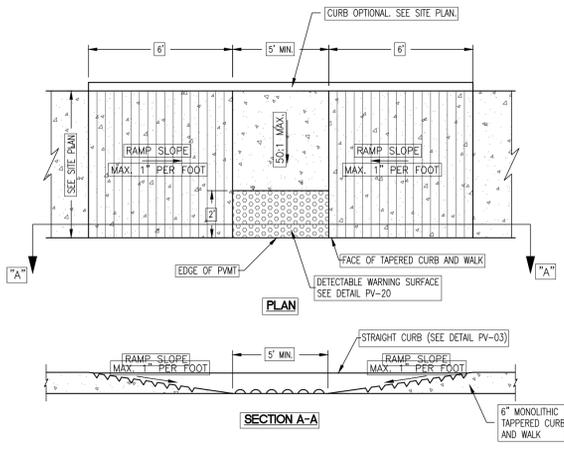
10 DETENTION POND WARNING SIGN
(NO SCALE)



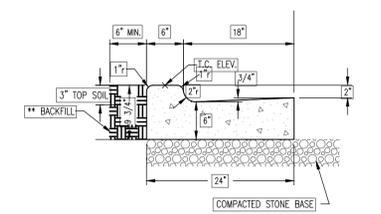
11 STEEL POST AND BLOCK FOR USE WITH NESTED GUARDRAIL ASSEMBLY
(NO SCALE)



07 CONCRETE STRAIGHT CURB
(NO SCALE)



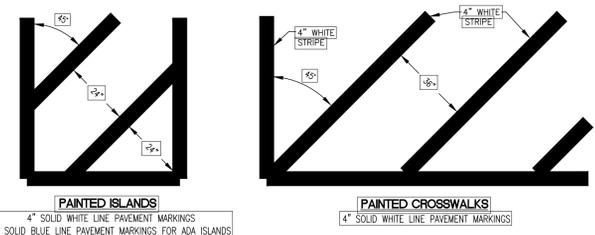
08 ACCESSIBLE RAMP WITH DEPRESSED CURB
(NO SCALE)



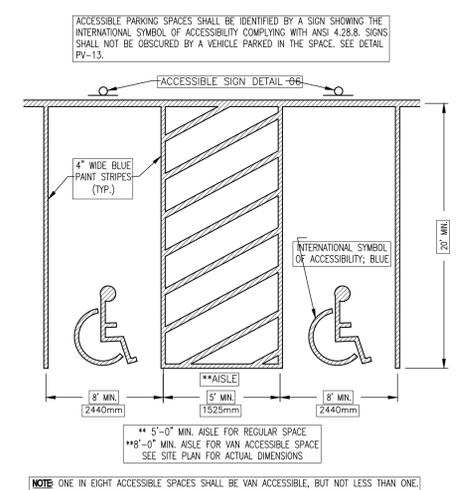
** WHERE SIDEWALK IS CONSTRUCTED ADJACENT TO THE CURB, THE SPACE BEHIND THE NEW CURB SHALL BE FILLED WITH GRANULAR MATERIAL TO THE REQUIRED ELEVATION AND COMPACTED IN LAYERS NOT TO EXCEED 4".

09 DEPRESSED CURB AND GUTTER
(NO SCALE)

SOLID WHITE PAVEMENT STRIPING LINES
4" SOLID WHITE LINE PAVEMENT MARKINGS ARE TO BE USED FOR EACH LEFT TURN LANE AND RIGHT TURN LANE CONFIGURATION, AND PARKING STALLS.



04 TRAFFIC STRIPING
(NO SCALE)



05 ACCESSIBLE PARKING SPACE
(NO SCALE) (2 STALLS)

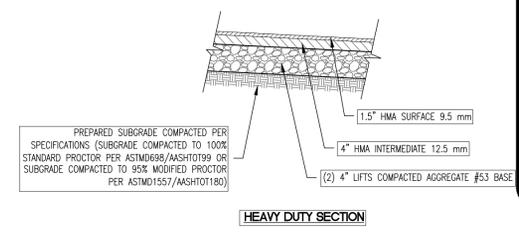
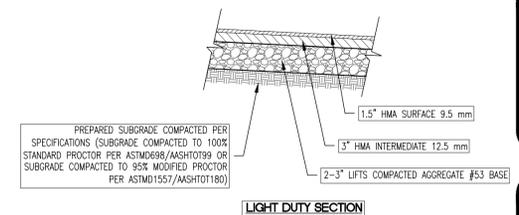
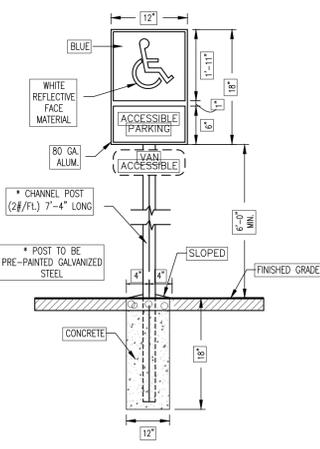
ACCESSIBLE PARKING SPACES SHALL BE IDENTIFIED BY A SIGN SHOWING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH ANSI 4.28.8. SIGNS SHALL NOT BE OBTURED BY A VEHICLE PARKED IN THE SPACE.

ANSI 4.28.5 FINISH AND CONTRAST THE CHARACTERS, SYMBOLS, AND BACKGROUND OF SIGN SHALL BE EGGSHELL, MATTE, OR OTHER NON-GLARE FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND, WITH EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.

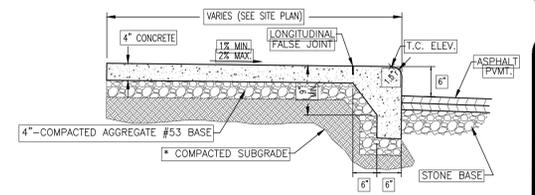
SPACES COMPLYING WITH 4.1.2(5)(B) SHALL HAVE AN ADDITIONAL SIGN "VAN-ACCESSIBLE" MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY.

NOTE ONE IN EIGHT ACCESSIBLE SPACES SHALL BE VAN ACCESSIBLE, BUT NOT LESS THAN ONE.

06 ACCESSIBLE PARKING SIGN
(NO SCALE)

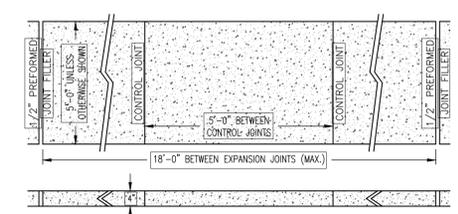


01 ASPHALT PAVEMENT SECTIONS
(NO SCALE)



*** COMPACTED SUBGRADE** - THE UPPER 6" SHALL COMPLY WITH THE DENSITY REQUIREMENTS OF THE TECHNICAL SPECIFICATIONS IMMEDIATELY PRIOR TO PLACING THE MATERIAL THEREON. ALL SOFT, YIELDING OR OTHER UNSUITABLE MATERIAL, WHICH CANNOT BE COMPACTED SATISFACTORILY, SHALL BE REMOVED. ALL ROCK ENCOUNTERED SHALL BE REMOVED OR BROKEN OFF AT LEAST 6" BELOW THE SUBGRADE SURFACE. ANY HOLES OR DEPRESSIONS RESULTING FROM THE REMOVAL OF UNSUITABLE MATERIAL SHALL BE FILLED WITH SATISFACTORY MATERIAL AND COMPACTED TO CONFORM WITH THE SURROUNDING SUBGRADE SURFACE.

02 COMBINED WALK AND CURB
(NO SCALE)



03 CONCRETE SIDEWALK
(NO SCALE)



Know what's below.
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R-3287-10V
Combination Inlet Frame, Grate, Curb Box
Heavy Duty

CATALOG NUMBER	GRATE TYPE	SO. PERMETER FT.	WEIR LINEAL FEET
R-3287-10V	231	155	155

Available with 3" radius curb box.

MANUFACTURER	CATALOG NO.
NEENAH	R-3287, 10V
EAST JORDAN	7505M3

NOT TO SCALE

R-3287-SB10
Combination Inlet Frame, Grate, Curb Box
Heavy Duty

CATALOG NUMBER	GRATE TYPE	SO. PERMETER FT.	WEIR LINEAL FEET
R-3287-SB10	231	155	155

MANUFACTURER	CATALOG NO.
NEENAH	R-3287, SB10
EAST JORDAN	7505

NOT TO SCALE



STRAIGHT CURB INLET CASTING TYPE 1
TOWN OF ZIONSVILLE, INDIANA
STANDARD DETAIL

PREPARED BY:
BLN
BEAM LONGEST-NEFF
FIGURE NO.
ST-4

EDGE OF PAVEMENT, CURB, GUTTER OR SIMILAR STRUCTURE

LEGEND

P = DISTANCE FROM EDGE OF PAVEMENT
Hc = OUTSIDE DIAMETER OR RISE
d = DEPTH OF BEDDING MATERIAL BELOW PIPE
Vc = 12" MIN. FOR FILL HEIGHT UP TO 16"
= 18" FOR Bc UP TO 18"
= 18" FOR Bc > 18"
W = 0.3 Bc OR 9", WHICHEVER IS GREATER

BEDDING MATERIAL DESIGNATION (P GREATER THAN 5')	
MATERIAL A	PVC, HDPE, PLASTIC PIPE
MATERIAL B	NATIVE BACKFILL
MATERIAL C	#8 WASHED STONE

BEDDING MATERIAL DESIGNATION (P LESS THAN 5', BUT GREATER THAN 0')	
MATERIAL A	#8 WASHED STONE
MATERIAL B	#8 WASHED STONE
MATERIAL C	#8 WASHED STONE

BEDDING MATERIAL DESIGNATION (PIPE UNDER PAVEMENT OR DRIVEWAY)	
MATERIAL A	PIPE NOT ALLOWED
MATERIAL B	(EXCEPT HDPE - SEE NOTE 7)
MATERIAL C	#8 WASHED STONE

NOTES:

- INDOT TYPE 1 PIPE REQUIRED FOR STORM SEWERS/CULVERTS UNDER PAVEMENT
- INDOT TYPE 2 PIPE REQUIRED FOR STORM SEWERS/CULVERTS OUTSIDE OF PAVEMENT.
- ALL BEDDING SHALL BE INSTALLED IN 6" TO 12" BALANCED LIFTS
- FOR BACKFILL PURPOSES, PAVED SHOULDERS, CURBS, GUTTERS, AND SIDEWALKS ARE CONSIDERED PAVEMENT.
- FLOWABLE BACKFILL SHALL BE ENCASED BY A MINIMUM OF 2 FEET OF COMPACTED EARTH BACKFILL
- PLASTIC PIPES FABRICATED ON HYDROSTATIC DESIGN BASES RATED RESINS CONSIDERED RIGID FOR BACKFILL PURPOSES
- ZIONSVILLE ALLOWS HDPE PIPE UNDER PAVEMENT AS LONG AS IT IS A MANDREL TESTED TO 7.5X

NOT TO SCALE



BEDDING AND BACKFILL SECTION
TOWN OF ZIONSVILLE, INDIANA
STANDARD DETAIL

PREPARED BY:
BLN
BEAM LONGEST-NEFF
FIGURE NO.
ST-8

END SECTION ANCHOR

TRASH/DEBRIS GUARD DETAIL

NOTES:

- BARS & PLATES ARE HOT-ROLLED STEEL.
- BARS, PLATES, & PIPE ARE FINISHED WITH 2 COATS OF ALUMINUM PAINT.
- BOLTS ARE GALVANIZED.

NOT TO SCALE



PRE CAST CONCRETE END SECTION
TOWN OF ZIONSVILLE, INDIANA
STANDARD DETAIL

PREPARED BY:
BLN
BEAM LONGEST-NEFF
FIGURE NO.
ST-9

GENERAL NOTES:

- STORM BOX STRUCTURES SHALL BE PRECAST CONCRETE CLASS A WITH A 4000 PSI, 28 DAY COMPRESSIVE STRENGTH. THE STRUCTURE DESIGN SHALL BE IN FULL ACCORDANCE WITH ASTM C890
- THE ADJUSTMENT OF CASTING FRAMES AND GRATES SHALL BE ACCOMPLISHED USING PRECAST CONCRETE SPACERS OF A MINIMAL NOMINAL THICKNESS OF 8 INCHES. THE MAXIMUM NUMBER OF SPACERS ALLOWED SHALL BE FOUR (4). A SOLIGHT SEAL SHALL BE PROVIDED BETWEEN EACH COMPONENT OF THE CONCRETE STRUCTURE AND SPACERS BY USE OF NON-ASPHALTIC MASTIC OR EXTRUDABLE PREFORMED GASKET MATERIAL.
- GRANULAR LEVELING MATERIAL REQUIRED FOR PRECAST BASE. GRANULAR MATERIAL SHALL BE NO. 8 STONE MEETING INDOT STANDARD SPECIFICATIONS AT A MINIMUM 6 INCHES IN DEPTH AND COMPACTED TO 95% STD. PROCTOR DENSITY.
- BENCH WALLS SHALL BE SHAPED AND FORMED FOR A CLEAN TRANSITION FOR SMOOTH FLOW THROUGH THE BOX STRUCTURE. THE BENCH WALL SHALL FORM A DEFINED CHANNEL, TO A MINIMUM HEIGHT OF 30 PERCENT OF THE INSIDE DIAMETER OF THE PIPE, CONSTRUCTED AT A MIN. 1/4 INCH PER FOOT SLOPE TO THE INLET WALL.

NOT TO SCALE

NOTE: ALL STRUCTURE JOINTS SHALL BE SLICKED WITH NON-SHRINK GROUT.



STORM BOX STRUCTURE
TOWN OF ZIONSVILLE, INDIANA
STANDARD DETAIL

PREPARED BY:
BLN
BEAM LONGEST-NEFF
FIGURE NO.
ST-2

OUTFALL INV. ELEV. 869.50

PROFILE

ELEVATION

01 POND OUTLET CONTROL STRUCTURE
NO SCALE

02 VEGETATED FILTER STRIP WITH LEVEL SPREADER
NO SCALE

03 EMERGENCY SPILLWAY CROSS SECTION
NO SCALE

PERFORATED UNDERDRAIN (SSD) W/ GRAVEL BACKFILL

ST-20
NO SCALE

ST-83A
NO SCALE

DOWNSPOUT DRAIN

ST-20
NO SCALE



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INDIANAPOLIS, IN 46216
317.288.0681
http://curran-architecture.com

No.	Revision/Issue	Date
01	PER CITY COMMENTS	07/10/20

AES OFFICE BUILDING
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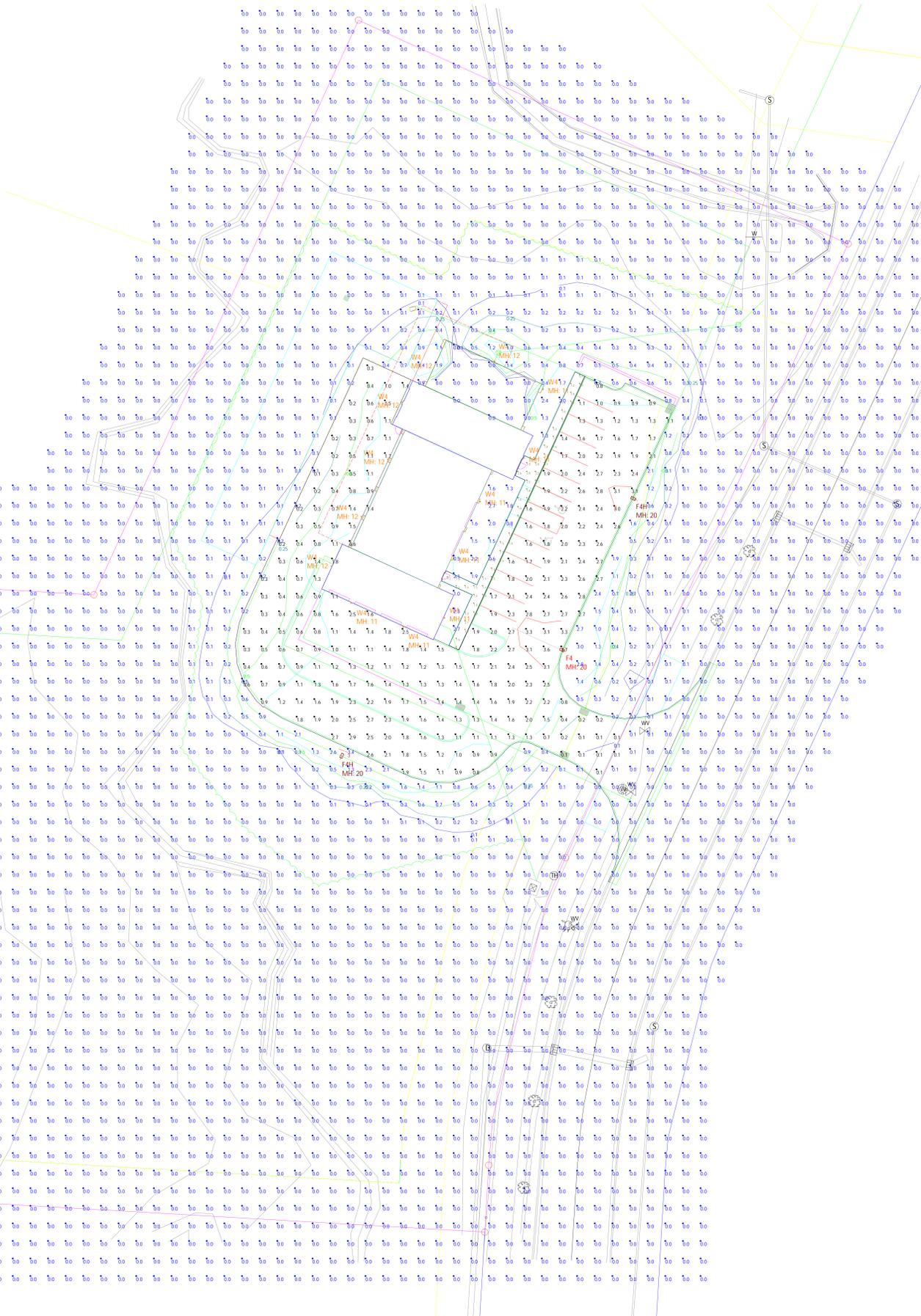
Professional Seal & Signature

Drawn By: ETW
Checked By: BJH
Date: 06/16/2020
Scale: As Noted
Project No.: LW00281

C701



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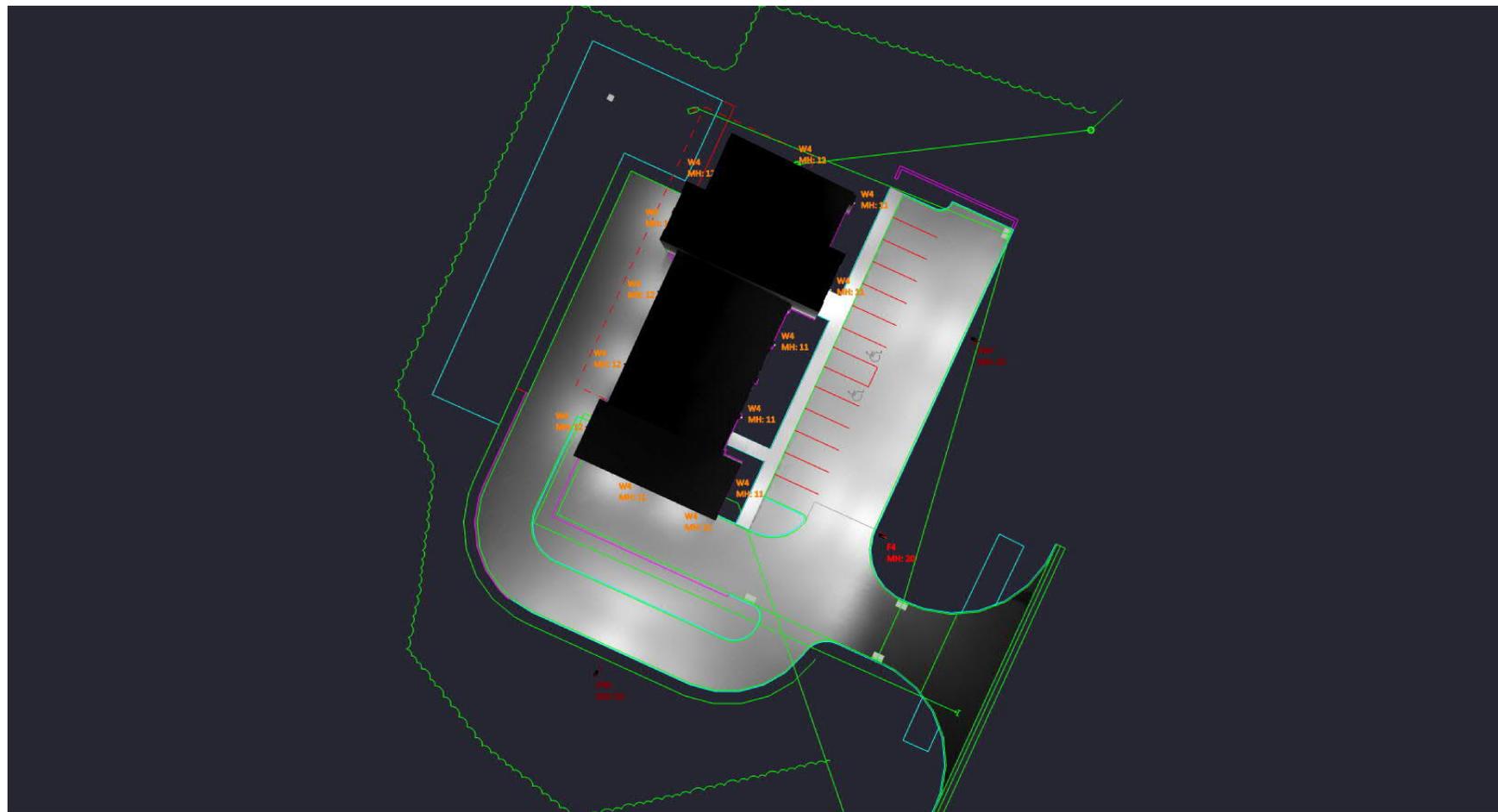
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Project: 20135-MB AES ZIONSVILLE SITE							
Symbol	Qty	Label	Arrangement	Lum. Watts	Lum. Lumens	LLF	Description
1		F4	SINGLE	112	14170	0.900	Site Type IV 3k 20ft Pole
2		F4H	SINGLE	112	10262	0.900	Site Type IV HS 3k 20ft Pole
13		W4	SINGLE	15.5	977	0.900	Wall Direct Type IV 3K

CALCULATIONS ARE MAINTAINED HORIZONTAL ILLUMINANCE FIGURES IN FOOT-CANDLES
 POINTS SHOWN ARE AT GRADE
 FIXTURE MOUNTING HEIGHTS A.F.G. ARE SPECIFIED NEXT TO FIXTURES AS 'MH'

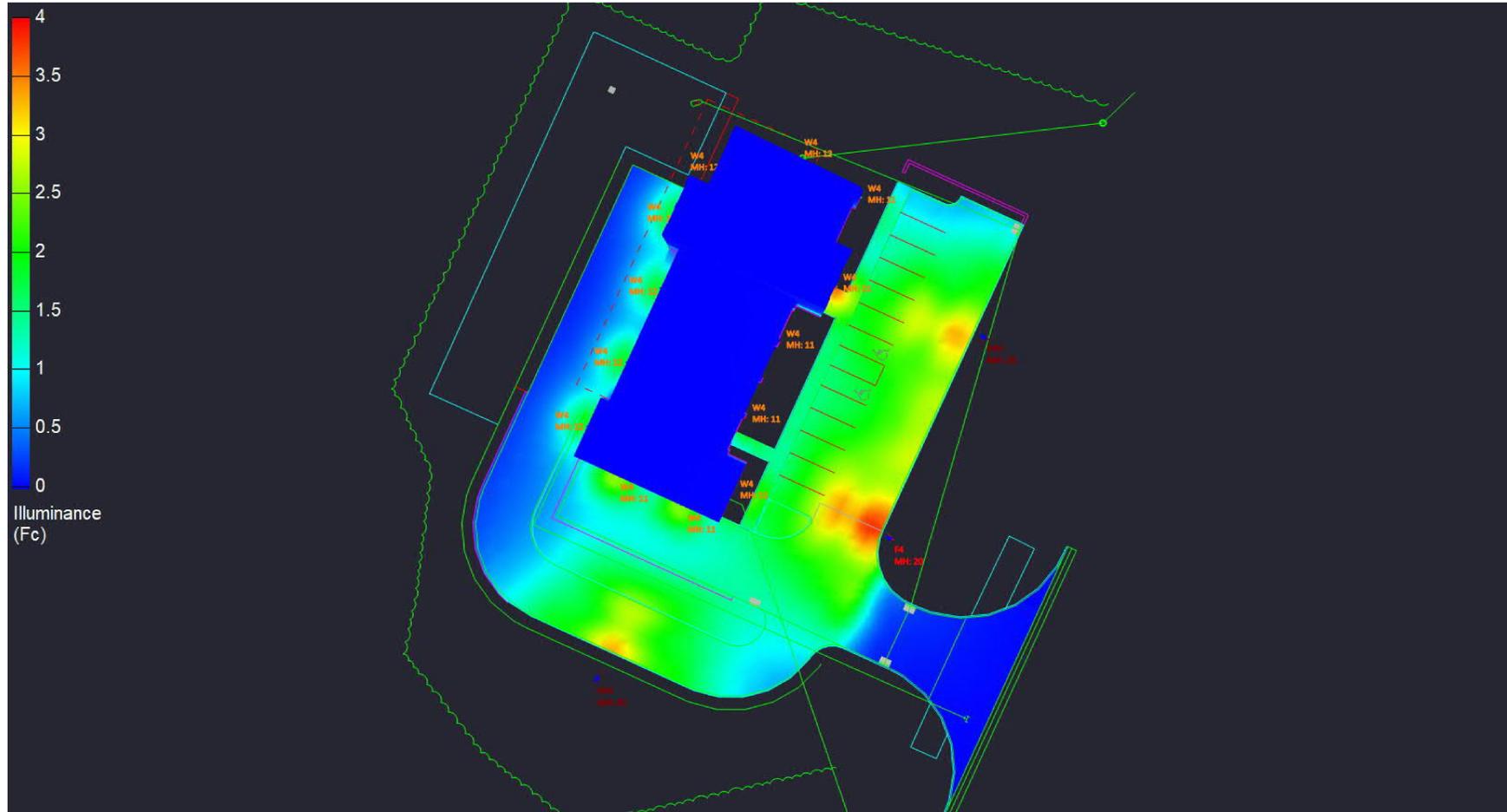
Calculation Summary							
Project: 20135-MB AES ZIONSVILLE SITE							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
East Sidewalk_Grade	ILLUMINANCE	Fc	1.70	3.3	0.9	1.89	3.67
Parking-Drives_Grade	ILLUMINANCE	Fc	1.47	3.7	0.1	14.70	37.00
Perimeter_Grade	ILLUMINANCE	Fc	0.04	3.4	0.0	N.A.	N.A.

PLAN VIEW
 Scale: 1 inch= 20 Ft.

DISCLAIMER:
 *Specified Lighting Systems ("SL") layouts are produced by trained lighting applications personnel using AG32 software.
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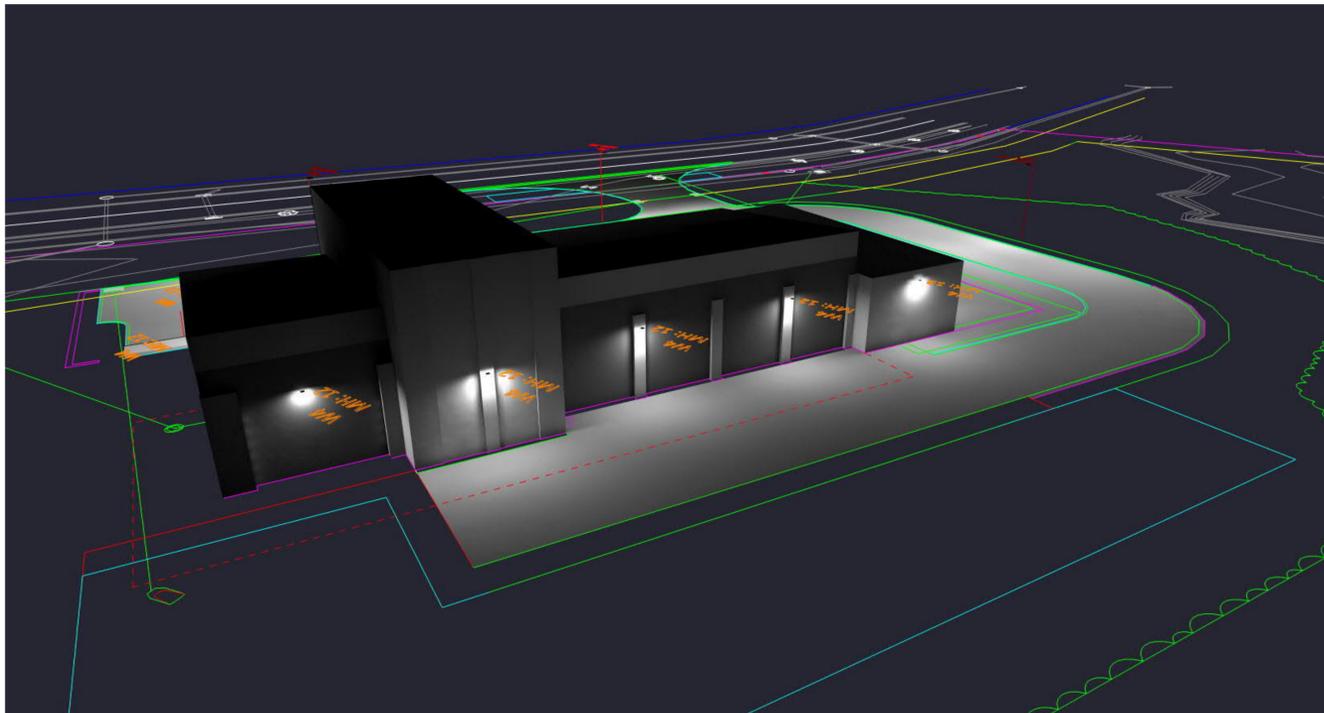
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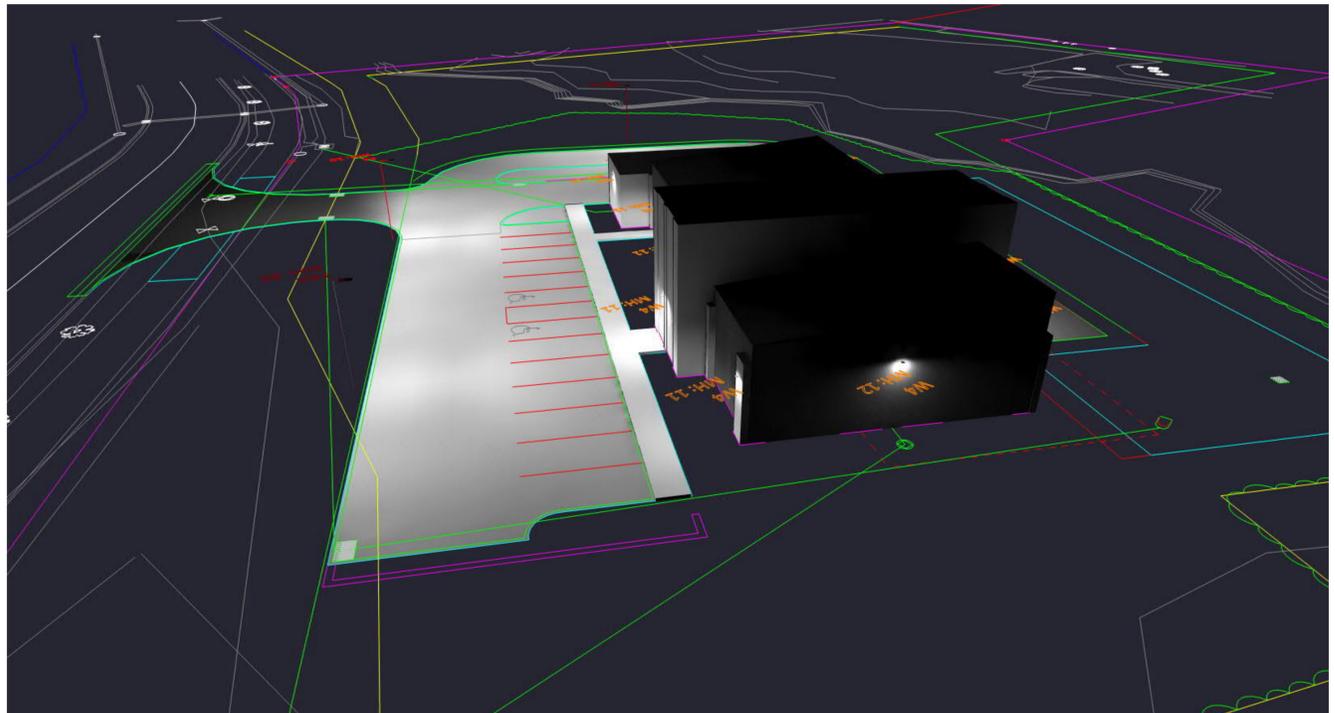
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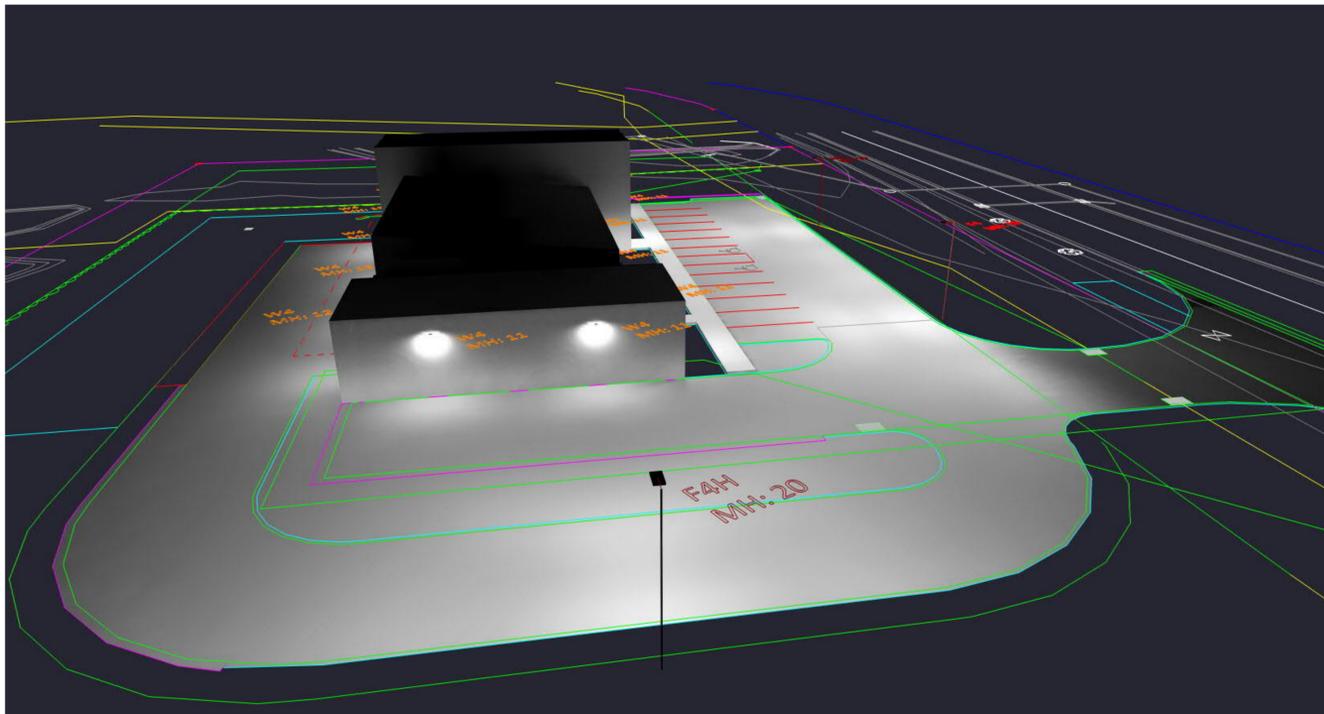
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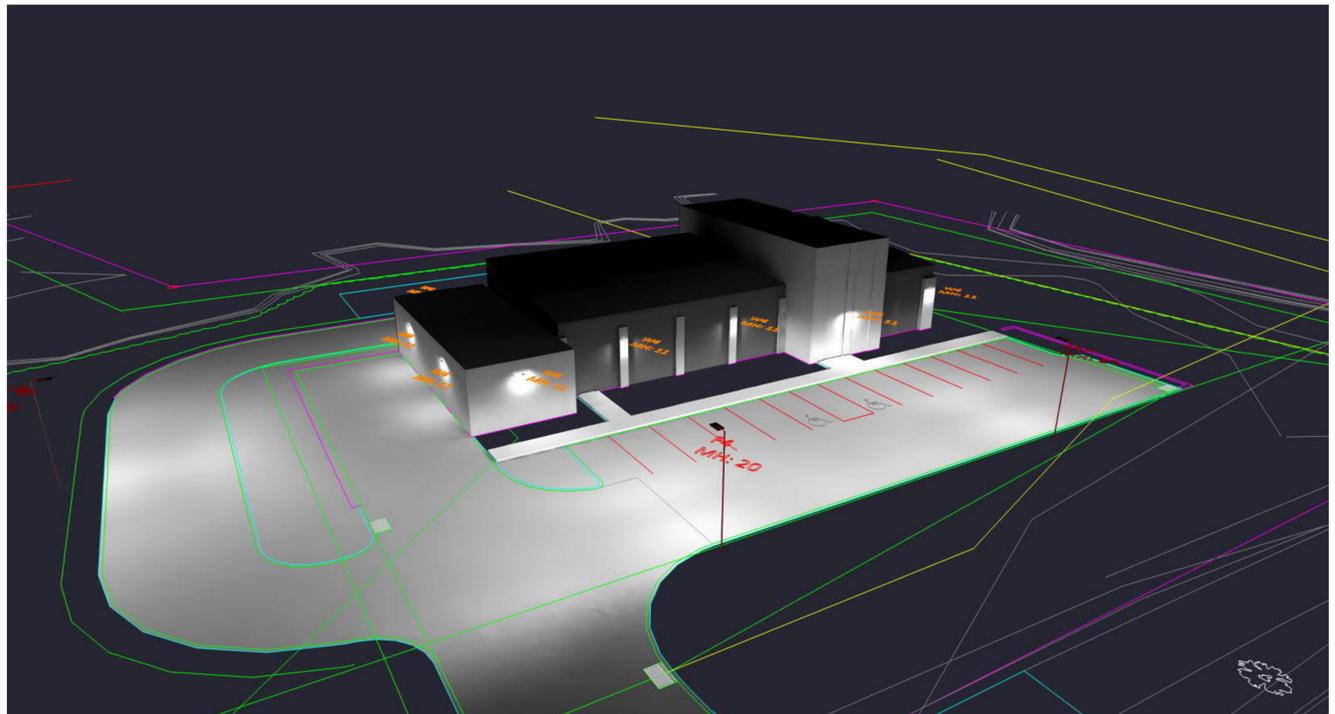
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Render Image - View Name : NE ISO



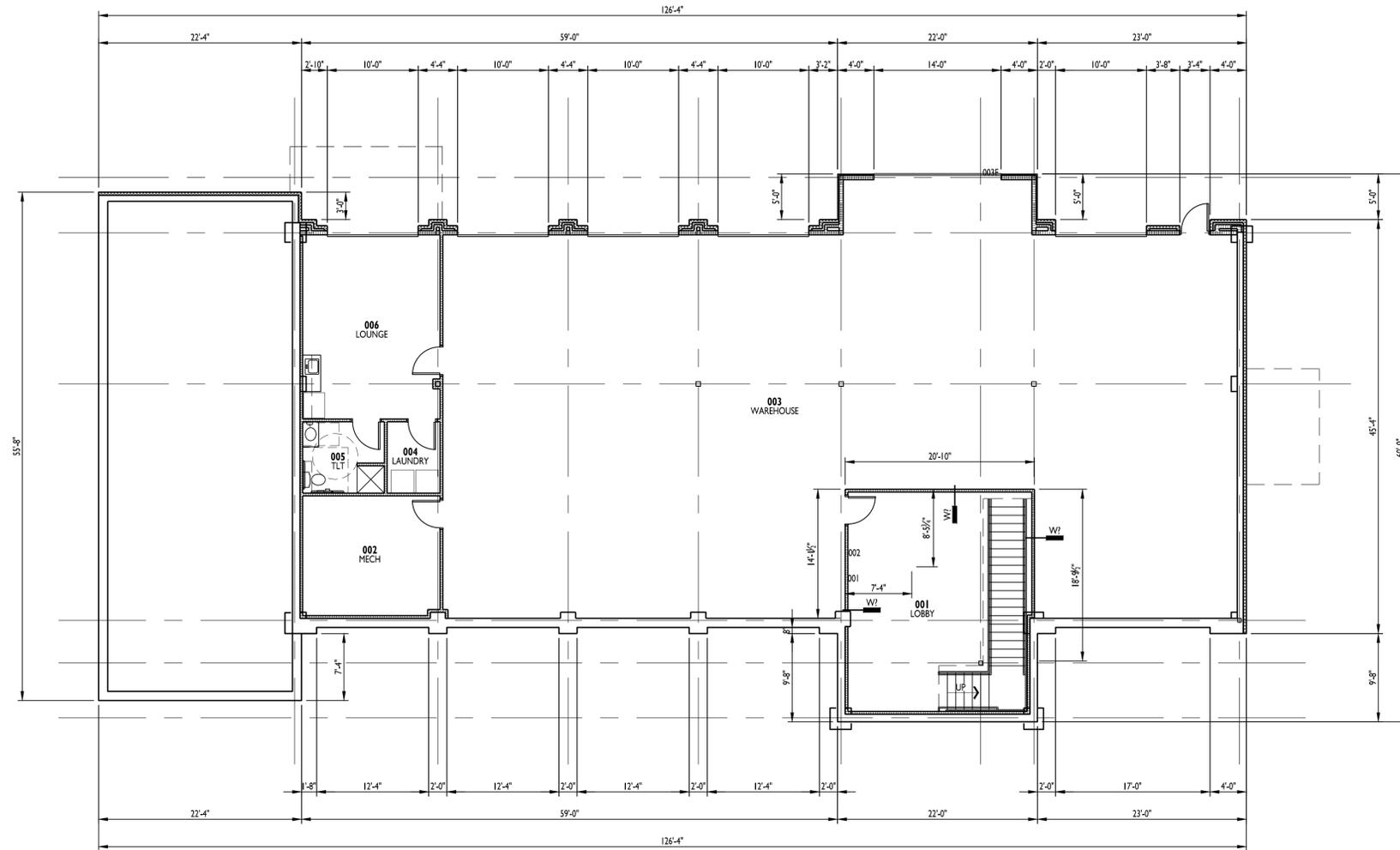
Render Image - View Name : SW ISO



Render Image - View Name : SE ISO

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LOWER LEVEL FLOOR PLAN
1/8" = 1'-0"

GENERAL NOTES

- A. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND JOB CONDITIONS. ANY DEVIATION FROM WHAT IS NOTED IN DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- B. ALL DIMENSIONS SHOWN ARE FACE OF BRICK, MASONRY OR METAL STUD FRAMING, UNLESS OTHERWISE NOTED.
- C. PROVIDE DEEP LEG DEFLECTION TRACK AT ALL METAL STUD CONNECTIONS WITH STRUCTURE ABOVE, TYPICAL.
- D. PROVIDE FIRE RATED WOOD BLOCKING IN METAL STUD WALLS FOR ANY WALL SUPPORTED ITEMS.
- E. PROVIDE APPROVED FIRE RATED STOPPING MATERIALS IN ANY OPENINGS IN FIRE RATED ASSEMBLIES.
- F. REFER TO DOOR AND WINDOW SCHEDULES FOR ALL MATERIALS, FINISHES, AND HARDWARE INFORMATION.
- G. REFER TO EXTERIOR ELEVATIONS FOR ALL BRICK, MASONRY, AND OTHER EXPANSION JOINT LOCATIONS.
- H. ALL MATERIALS LOCATED IN CEILING PLENUM SHALL BE RATED FOR SUCH INSTALLATION OR PROTECTED TO PROVIDE COMPLIANCE. THIS INCLUDES BUT IS NOT LIMITED TO INSULATION (FHC 25/50) POWER AND LOW VOLTAGE WIRING, TELECOMMUNICATIONS CABLING, PLUMBING SUPPLY AND DRAIN LINES AND SUPPORTING BRACKETS AND/OR BLOCKING FOR CEILING HUNG ITEMS.
- I. PRIOR TO ORDERING ANY PRODUCTS, CONTRACTOR SHALL SUBMIT SAMPLES TO THE ARCHITECT OF ALL FINISH MATERIALS TO BE USED ON THE PROJECT. THE CONTRACTOR SHALL BEAR SOLE RESPONSIBILITY FOR ANY MATERIALS ORDERED INCORRECTLY WHEN THAT MATERIAL WAS NOT REVIEWED BY THE ARCHITECT.
- J. PROVIDE CONCRETE FILLED STEEL PIPE BOLLARDS AT ALL REQUIRED UTILITY EQUIPMENT LOCATIONS SUCH AS GAS METERS, ELECTRICAL TRANSFORMER PANELS, ETC.. COORDINATE WITH UTILITY COMPANY AND CONTRACTORS, WHEN APPLICABLE, FOR NECESSARY LOCATIONS. REFER TO CIVIL DRAWINGS FOR BOLLARD SPECIFICATIONS AND ADDITIONAL INFORMATION.
- K. ALL DOORS, UNLESS OTHERWISE NOTED, TO HAVE HINGE SIDE SET 4" FROM CORNER SHOWN TO OUTSIDE OF FRAME.
- L. UNLESS SPECIFIED ELSEWHERE, ALL INTERIOR SLABS AND SLAB INFILLS TO BE FF-50/FL-35 OVERALL AND FF-35/FL-25 LOCAL.
- M. ALL EXIT DOORS TO HAVE TACTILE EXIT SIGNAGE PER 703.4 OF THE ANSI 117.1 2009.

KEYED NOTES

- I. START KEYED NOTES HERE.



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CERTIFICATION

PRELIMINARY
NOT FOR CONSTRUCTION

00.00.00

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PROJECT INFORMATION

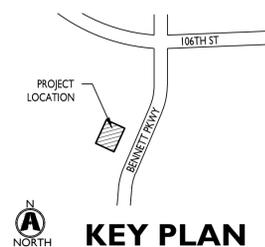
NEW BUILDING FOR:
AES RESTAURANT GROUP
BENNETT PARKWAY
ZIONSVILLE, INDIANA

ISSUE DATES

190125

LOWER LEVEL FLOOR PLAN

A101



KEY PLAN

Project		Catalog #		Type	
Prepared by		Notes		Date	



Lumark

PRV / PRV-XL Prevail LED

Area / Site Luminaire

Typical Applications

Outdoor • Parking Lots • Walkways • Roadways • Building Areas

Interactive Menu

- Ordering Information [page 2](#)
- Mounting Details [page 3](#)
- Optical Configurations [page 3](#)
- Product Specifications [page 3](#)
- Energy and Performance Data [page 4](#)
- Control Options [page 5](#)

Product Certifications



Product Features

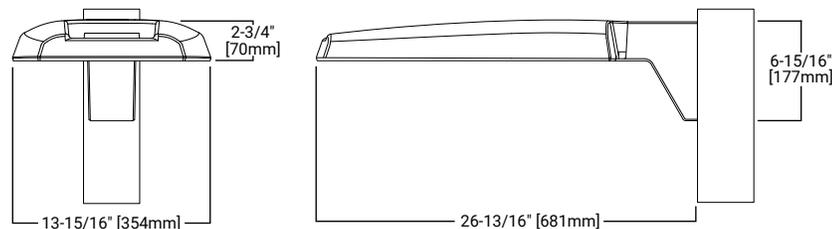


Quick Facts

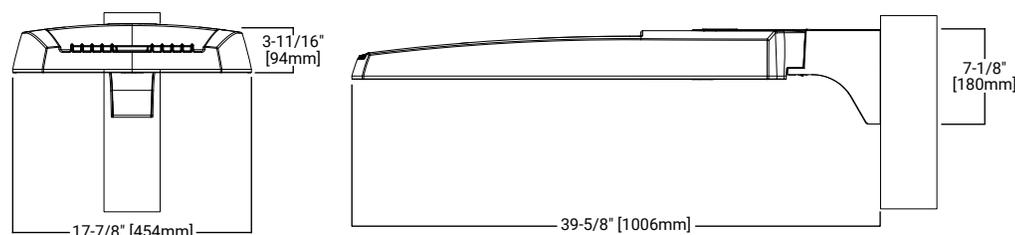
- Lumen packages range from 7,100 - 48,600 lumens (50W - 350W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 148 lumens per watt
- Energy and maintenance savings up to 85% versus HID solutions
- Standard universal quick mount arm with universal drill pattern

Dimensional Details

Prevail



Prevail XL



Ordering Information

SAMPLE NUMBER: PRV-XL-C75-D-UNV-T4-SA-BZ

Product Family ^{1,2}	Light Engine ³	Driver	Voltage	Distribution	Mounting (Included)	Color
PRV=Prevail	C15=(1 LED) 7,100 Nominal Lumens C25=(2 LEDs) 13,100 Nominal Lumens C40=(2 LEDs) 17,100 Nominal Lumens C60=(2 LEDs) 20,000 Nominal Lumens	D=Dimming (0-10V)	UNV=Universal (120-277V) 347=347V 480=480V ⁴	T2=Type II T3=Type III T4=Type IV T5=Type V	SA=Standard Versatile Arm MA=Mast Arm WM=Wall Mount Arm	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White
PRV-XL=Prevail XL	C75=(4 LED) 26,100 Nominal Lumens C100=(4 LED) 31,000 Nominal Lumens C125=(4 LED) 36,000 Nominal Lumens C150=(6 LED) 41,100 Nominal Lumens C175=(6 LED) 48,600 Nominal Lumens					

Options (Add as Suffix)	Accessories (Order Separately) ¹⁷
<p>7030=70 CRI / 3000K CCT ⁵ 7050=70 CRI / 5000K CCT ⁵ HSS=House Side Shield ⁶ L90=Optics Rotated 90° Left R90=Optics Rotated 90° Right 10K=10kV/10kA UL 1449 Fused Surge Protective Device HA=50°C High Ambient Temperature ⁷ PER=NEMA 3-PIN Twistlock Photocontrol Receptacle PER7=NEMA 7-PIN Twistlock Photocontrol Receptacle MSP/DIM-L12=Integrated Sensor for Dimming Operation, 8' - 12' Mounting Height ^{8,9} MSP/DIM-L30=Integrated Sensor for Dimming Operation, 12' - 30' Mounting Height ^{8,9} MSP-L12=Integrated Sensor ON/OFF Operation, 8' - 12' Mounting Height ^{8,9} MSP-L30=Integrated Sensor ON/OFF Dimming Operation, 12' - 30' Mounting Height ^{8,9} MS/DIM-L20=Motion Sensor for Dimming Operation, 9' - 20' Mounting Height ^{9,10} MS/DIM-L40W=Motion Sensor for Dimming Operation, 21' - 40' Mounting Height ^{9,10} MS-L20=Motion Sensor for ON/OFF Operation, 9' - 20' Mounting Height ^{9,10} MS-L40W=Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height ^{9,10} ZW=Wavelinx-enabled 4-PIN Twistlock Receptacle ^{9,11,12} ZW-SWPD4XX=Wavelinx Wireless Sensor, 7' - 15' Mounting Height ^{9,11,12,13} ZW-SWPD5XX=Wavelinx Wireless Sensor, 15' - 40' Mounting Height ^{9,11,12,13} LWR-LW=LumaWatt Pro Wireless Sensor, Wide Lens for 8' - 16' Mounting Height ^{9,14} LWR-LN=LumaWatt Pro Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height ^{9,14} (See Table Below)=LumenSafe Integrated Network Security Camera ^{15,16}</p>	<p>PRVWM-XX=Wall Mount Kit ⁸ PRVMA-XX=Mast Arm Mounting Kit ⁸ PRVSA-XX=Standard Arm Mounting Kit ⁸ PRVXLSA-XX=Standard Arm Mounting Kit (for Prevail XL) ¹⁵ PRVXLWM-XX=Wall Mount Kit (for Prevail XL) ¹⁵ PRVXLMA-XX=Mast Arm Mounting Kit (for Prevail XL) ¹⁵ MA1010-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon MA1011-XX=2@180° Tenon Adapter for 3-1/2" O.D. Tenon MA1017-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon MA1018-XX=2@180° Tenon Adapter for 2-3/8" O.D. Tenon HS/VERD=House Side Shield ^{6,18} VGS-F/B=Vertical Glare Shield, Front/Back ¹⁸ VGS-SIDE=Vertical Glare Shield, Side ¹⁸ OA/RA1013=Photocontrol Shorting Cap OA/RA1014=NEMA Photocontrol - 120V OA/RA1016=NEMA Photocontrol - Multi-Tap 105-285V OA/RA1201=NEMA Photocontrol - 347V OA/RA1027=NEMA Photocontrol - 480V ISHH-01=Integrated Sensor Programming Remote ¹⁹ FSIR-100=Wireless Configuration Tool for Occupancy Sensor ²⁰ SWPD4-XX=Wavelinx Wireless Sensor, 7' - 15' Mounting Height ^{12,13,21} SWPD5-XX=Wavelinx Wireless Sensor, 15' - 40' Mounting Height ^{12,13,21} WOLC-7P-10A=Wavelinx Outdoor Control Module (7-PIN) ²²</p>

NOTES:

- DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details.
- Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications. Refer to installation instructions and pole white paper WP513001EN for additional support information.
- Standard 4000K CCT and 70CRI.
- Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
- Use dedicated IES files on product website for non-standard CCTs.
- Option will come factory-installed. House Side Shield not suitable with T5 distribution or C60 lumen package.
- Not available with C60 lumen package.
- Only available in PRV configurations C15, C25, C40 or C60.
- Controls system is not available with photocontrol receptacle (PER or PER7) or other controls systems (MS, MSP, ZW or LWR).
- Utilizes the Wattstopper sensor FSP-211.
- Sensor passive infrared (PIR) may be overly sensitive when operating below -20°C (-4°F).
- In order for the device to be field-configurable, requires WAC Gateway components WAC-PoE and WPOE-120 in appropriate quantities. Only compatible with WaveLinx system and software and requires system components to be installed for operation. See website for more Wavelinx application information.
- Replace XX with sensor color (WH, BZ, or BK).
- LumaWatt Pro wireless sensors are factory installed and require network components LWP-EM-1, LWP-GW-1, and LWP-PoE8 in appropriate quantities. See website for LumaWatt Pro application information.
- Only available in PRV-XL configurations C75, C100, C125, C150, or C175.
- Not available with 347V, 480V, or HA options. Consult LumenSafe system product pages for additional details and compatibility information.
- Replace XX with paint color.
- Must order one per optic/LED when ordering as a field-installable accessory (1, 2, 4, or 6).
- This tool enables adjustment to Integrated Sensor (MSP) parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
- This tool enables adjustment to Motion Sensor (MS) parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
- Requires Wavelinx-enabled 4-PIN twistlock receptacle (ZW) option.
- Requires 7-PIN NEMA twistlock photocontrol receptacle (PER7) option. The WOLC-7 cannot be used in conjunction with other controls systems (MS, MSP, ZW or LWR).

LumenSafe Integrated Network Security Camera Technology Options (Add as Suffix)

Product Family	Camera Type	Data Backhaul
L=LumenSafe Technology 	D=Dome Camera	C=Cellular, Customer Installed SIM Card A=Cellular, Factory Installed AT&T SIM Card V=Cellular, Factory Installed Verizon SIM Card S=Cellular, Factory Installed Sprint SIM Card E=Ethernet Networking

Stock Ordering Information

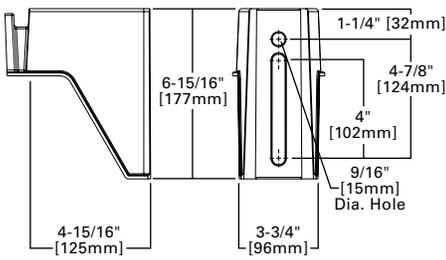
Product Family ¹	Light Engine	Voltage	Distribution	Options (Add as Suffix)
PRVS=Prevail	C15=(1 LED) 7,100 Nominal Lumens C25=(2 LEDs) 13,100 Nominal Lumens C40=(2 LEDs) 17,100 Nominal Lumens C60=(2 LEDs) 20,000 Nominal Lumens	UNV=Universal (120-277V) 347=347V ²	T3=Type III T4=Type IV	MSP/DIM-L30=Integrated Sensor for Dimming Operation, Maximum 30' Mounting Height ²
PRVS-XL=Prevail XL	C75=(4 LED) 26,100 Nominal Lumens C100=(4 LED) 31,000 Nominal Lumens C125=(4 LED) 36,000 Nominal Lumens C150=(6 LED) 41,100 Nominal Lumens C175=(6 LED) 48,600 Nominal Lumens			

NOTES:

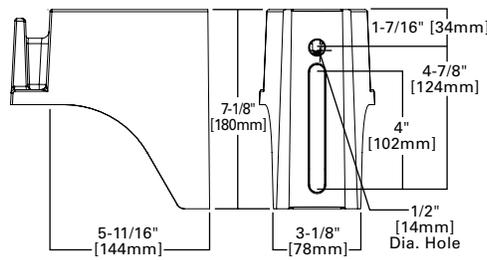
- All stock configurations are standard 4000K/70CRI, bronze finish, and include the standard versatile mounting arm.
- Only available in PRVS configurations C15, C25, C40 or C60.

Mounting Details

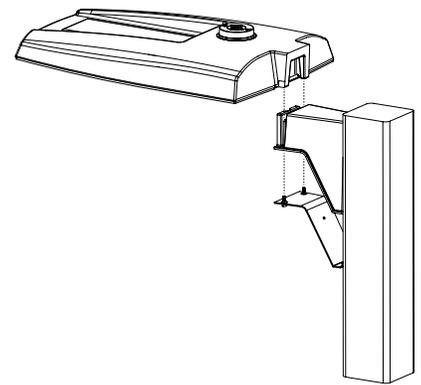
Pole Mount Arm (PRV)



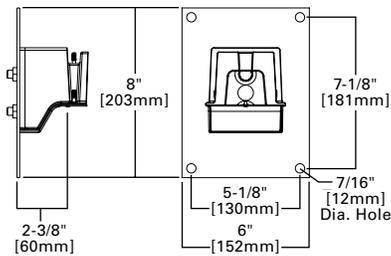
Pole Mount Arm (PRV-XL)



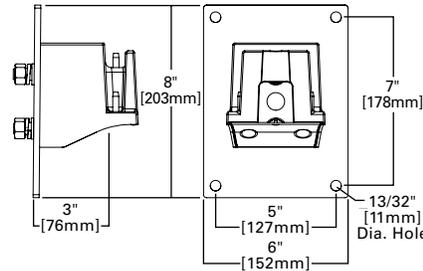
Versatile Mount System



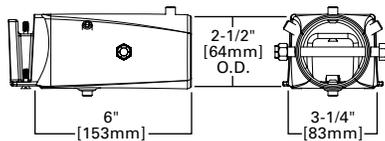
Wall Mount (PRV)



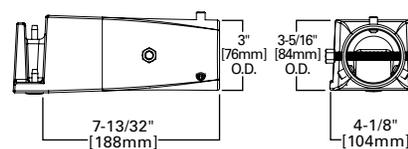
Wall Mount (PRV-XL)



Mast Arm Mount (PRV)



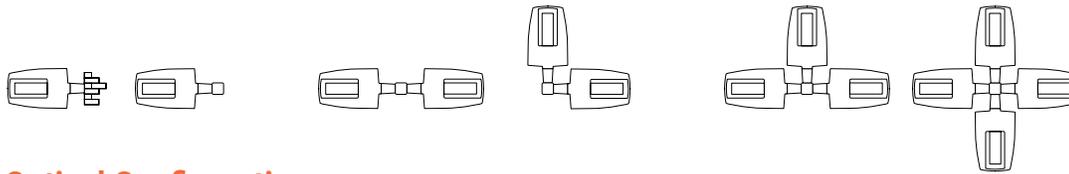
Mast Arm Mount (PRV-XL)



Mounting Configurations and EPAs

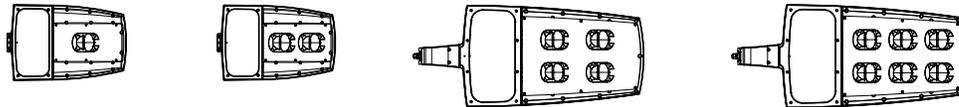
NOTE: For 2 PRV's mounted at 90°, requires minimum 3" square or 4" round pole for fixture clearance. For 2 PRV-XL's mounted at 90°, requires minimum 4" square or round pole for fixture clearance. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications.

Wall Mount	Arm Mount Single EPA 0.92 (PRV) EPA 1.12 (PRV-XL)	Arm Mount 2 @ 180° EPA 1.35 (PRV) EPA 2.25 (PRV-XL)	Arm Mount 2 @ 90° EPA 1.42 (PRV) EPA 2.13 (PRV-XL)	Arm Mount 3 @ 90° EPA 1.63 (PRV) EPA 2.52 (PRV-XL)	Arm Mount 4 @ 90° EPA 1.63 (PRV) EPA 2.52 (PRV-XL)
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Optical Configurations

PRV-C15 (7,100 Nominal Lumens)	PRV-C25/C40/C60 (13,100/17,100/20,000 Nominal Lumens)	PRV-XL-C75/C100/C125 (26,100/31,000/36,300 Nominal Lumens)	PRV-XL-C150/C175 (41,100/48,600 Nominal Lumens)
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Product Specifications

Construction

- Single-piece die-cast aluminum housing
- Tethered die-cast aluminum door

Optics

- Dark Sky Approved (3000K CCT and warmer only)
- Precision molded polycarbonate optics

Electrical

- -40°C minimum operating temperature
- 40°C maximum operating temperature
- >.9 power factor
- <20% total harmonic distortion

- Class 1 electronic drivers have expected life of 100,000 hours with <1% failure rate
- 0-10V dimming driver is standard with leads external to the fixture

Mounting

- Versatile, patented, standard mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8"
- A knock-out on the standard mounting arm enables round pole mounting
- Prevail: 3G vibration rated
- Prevail XL Mast Arm: 3G vibration rated
- Prevail XL Standard Arm: 1.5G vibration rated

Finish

- Five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness

Shipping Data

- Prevail: 20 lbs. (9.09 kgs.)
- Prevail XL: 45 lbs. (20.41 kgs.)

Energy and Performance Data

Power and Lumens (PRV)

 [View PRV IES files](#)

Light Engine	C15	C25	C40	C60	
Power (Watts)	52	96	131	153	
Input Current @ 120V (A)	0.43	0.80	1.09	1.32	
Input Current @ 277V (A)	0.19	0.35	0.48	0.57	
Input Current @ 347V (A)	0.17	0.30	0.41	0.48	
Input Current @ 480V (A)	0.12	0.22	0.30	0.35	
Distribution					
Type II	4000K Lumens	7,123	13,205	17,172	20,083
	BUG Rating	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3
	3000K Lumens	6,994	12,965	16,860	19,718
Type III	4000K Lumens	7,111	13,183	17,144	20,050
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4
	3000K Lumens	6,982	12,944	16,832	19,686
Type IV	4000K Lumens	7,088	13,140	17,087	19,984
	BUG Rating	B1-U0-G3	B2-U0-G4	B2-U0-G4	B3-U0-G5
	3000K Lumens	6,959	12,901	16,777	19,621
Type V	4000K Lumens	7,576	14,045	18,264	21,360
	BUG Rating	B3-U0-G3	B4-U0-G3	B4-U0-G4	B5-U0-G4
	3000K Lumens	7,438	13,790	17,932	20,972

Lumen Maintenance

Configuration	TM-21 Lumen Maintenance (50,000 Hours)	Theoretical L70 (Hours)
Up to PRV-C60 at 25°C	91.30%	194,000
Up to PRV-C60 at 40°C	87.59%	134,000
Up to PRV-XL-C175 at 25°C	91.40%	204,000
Up to PRV-XL-C175 at 40°C	89.41%	158,000

Lumen Multiplier

Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.99

Power and Lumens (PRV-XL)

 [View PRV-XL IES files](#)

Light Engine	C75	C100	C125	C150	C175	
Power (Watts)	176	217	264	285	346	
Input Current @ 120V (A)	1.50	1.84	2.21	2.38	2.92	
Input Current @ 277V (A)	0.66	0.82	0.97	1.04	1.25	
Input Current @ 347V (A)	0.54	0.66	0.79	0.84	1.02	
Input Current @ 480V (A)	0.40	0.48	0.57	0.62	0.74	
Distribution						
Type II	4000K Lumens	26,263	31,231	36,503	41,349	48,876
	BUG Rating	B3-U0-G3	B3-U0-G4	B4-U0-G4	B4-U0-G4	B4-U0-G5
	3000K Lumens	25,786	30,664	35,840	40,598	47,989
Type III	4000K Lumens	26,120	31,061	36,304	41,124	48,610
	BUG Rating	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
	3000K Lumens	25,646	30,497	35,645	40,377	47,727
Type IV	4000K Lumens	26,098	31,035	36,274	41,089	48,569
	BUG Rating	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5
	3000K Lumens	25,624	30,471	35,615	40,343	47,687
Type V	4000K Lumens	28,129	33,450	39,097	44,287	52,349
	BUG Rating	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5
	3000K Lumens	27,618	32,843	38,387	43,483	51,398

Control Options

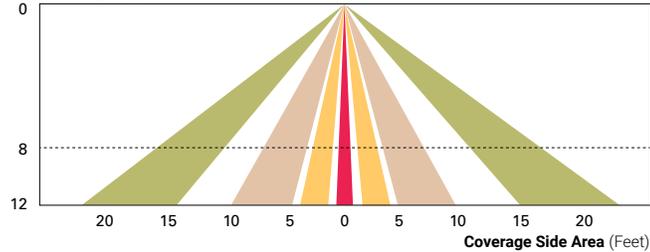
0-10V (D) The dimming option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (PER and PER7) Photocontrol receptacles provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PER7 receptacle.

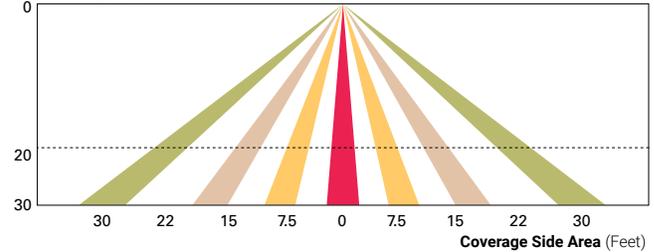
Dimming Occupancy Sensor (MSP and MS) These sensors are factory installed in the luminaire housing. When a sensor for dimming operation (/DIM) option is selected, the luminaire will dim down to approximately 50 percent power after five minutes of no activity detected. When activity is detected, the luminaire returns to full light output. When a sensor for ON/OFF operation is selected, the luminaire will turn off after five minutes of no activity.

These occupancy sensors include an integral photocell that can be activated or inactivated with the programming remote / configuration tool for "dusk-to-dawn" control or "daylight harvesting". **Note:** For MSP sensors, the factory preset is ON (Enabled), and for MS sensors, the factory preset is OFF (Disabled). The programming remote / tool is a wireless tool that can be utilized to change the dimming level, time delay, sensitivity and other parameters. A variety of sensor lenses are available to optimize the coverage pattern for mounting heights from 8'-40'.

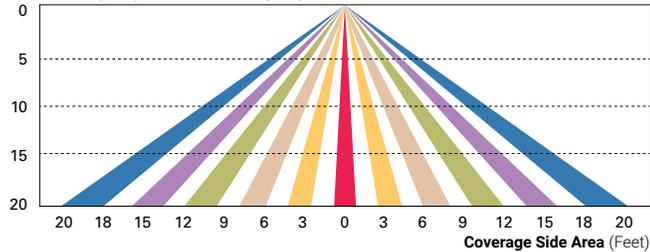
For mounting heights from 8' to 12' (-L12)



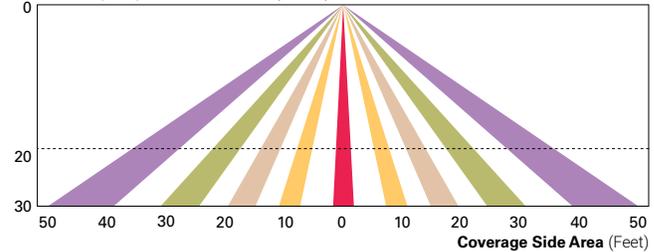
For mounting heights from 12' to 30' (-L30)



For mounting heights from 9' to 20' (-L20)



For mounting heights from 21' to 40' (-L40W)

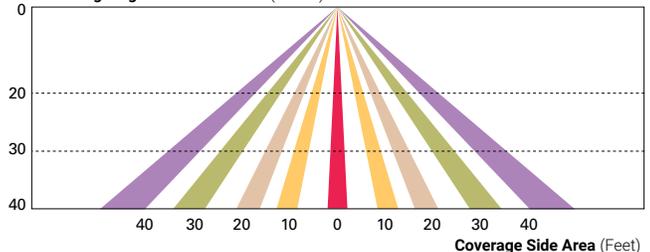


WaveLinx Wireless Control and Monitoring System Available in 7-PIN or 4-PIN configurations, the WaveLinx Outdoor control platform operates on a wireless mesh network based on IEEE 802.15.4 standards enabling wireless control of outdoor lighting. Use the WaveLinx Mobile application for set-up and configuration. At least one Wireless Area Controller (WAC) is required for full functionality and remote communication (including adjustment of any factory pre-sets).

WaveLinx Outdoor Control Module (WOLC-7P-10A) A photocontrol that enables astronomical or time-based schedules to provide ON, OFF and dimming control of fixtures utilizing a 7-PIN receptacle. The out-of-box functionality is ON at dusk and OFF at dawn.

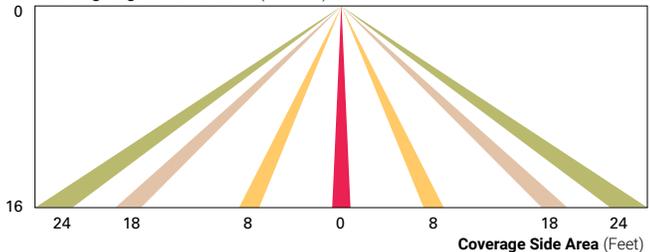
WaveLinx Wireless Sensor (SWPD4 and SWPD5) These outdoor sensors offer passive infrared (PIR) occupancy and a photocell for closed loop daylight sensing. These sensors can be factory installed or field-installed via simple, tool-less integration into luminaires equipped with the Zhaga Book 18 compliant 4-PIN receptacle (ZW). These sensors are factory preset to dim down to approximately 50 percent power after 15 minutes of no activity detected. These occupancy sensors include an integral photocell for "dusk-to-dawn" control or daylight harvesting that is factory-enabled. A variety of sensor lenses are available to optimize the coverage pattern for mounting heights from 7'-40'.

For mounting heights from 16' to 40' (SWPD)

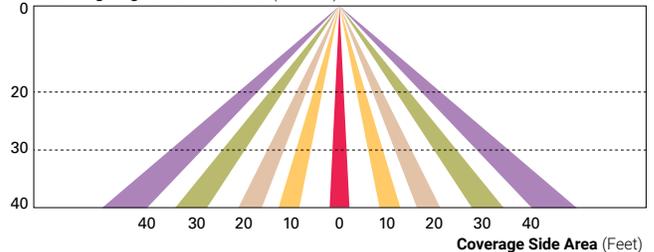


LumaWatt Pro Wireless Control and Monitoring System (LWR-LW and LWR-LN) The Eaton's LumaWatt Pro powered by Enlighted is a connected lighting solution that combines LED luminaires with an integrated wireless sensor system. The sensor controls the lighting system in compliance with the latest energy codes and collects valuable data about building performance and use. Software applications turn the granular data into information through energy dashboards and specialized apps that make it simple and help optimize the use of other resources beyond lighting.

For mounting heights from 8' to 16' (LWR-LW)



For mounting heights from 16' to 40' (LWR-LN)



LumenSafe (LD) The LumenSafe integrated network camera is a streamlined, outdoor-ready camera that provides high definition video surveillance. This IP camera solution is optimally designed to integrate into virtually any video management system or security software platform of choice. No additional wiring is needed beyond providing line power to the luminaire. LumenSafe features factory-installed power and networking gear in a variety of networking options allowing security integrators to design the optimal solution for active surveillance.

Project		Catalog #		Type	
Prepared by		Notes		Date	



Lumière

EON 303-W1-LEDB2

Ceiling / Wall Mount
Direct / Indirect

Typical Applications

- Hospitality • Commerical Landscape • Outdoor Area/Site • Residential
- Architectural

Interactive Menu

- Order Information page 2
- Product Specifications page 2
- Lumen Maintenance page 3
- Product Warranty

Product Certification



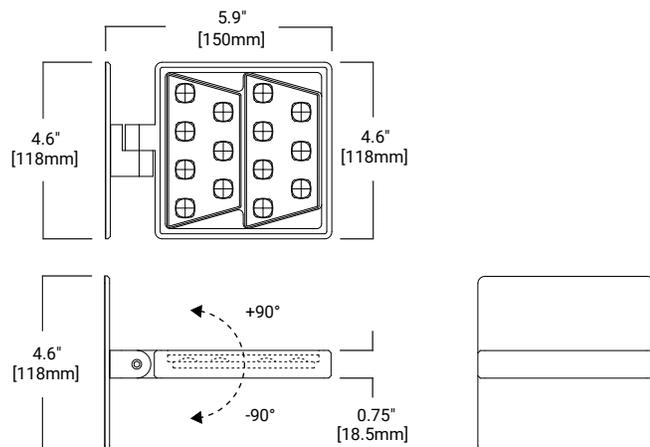
Product Features



Top Product Features

- Adjustable direct or indirect luminaire - 180° Adjustable at knuckle
- 2700K, 3000K or 3500K or 4000K Color Temperature and Amber (585-595nm)
- Forward/Lateral Throw or Flood Optics with diffuse glass sealed lens
- Patented AccuLED Optics™ System
- Universal Input LED Driver Included (120 - 277V, 50/60 Hz)
- ELV or 0-10 Dimming

Dimensions



TECHNICAL DATA
50°C Maximum Temperature Rating
External Supply Wiring 90°C Minimum

Order Information

SAMPLE ORDER NUMBER: 303-W1-LEDB2-2700-UNV-T2-DIM10-BK-EDGE-LCF

Series	Color Temperature	Input Voltage	Optics	Dimming	Finish	Options
303-W1-LEDB1 Head contains two (2) Mini LightBAR™	2700K=2700K 3000K=3000K 3500K=3500K 4000K=4000K TSAM=Turtle Safe Amber (585-595nm)	UNV=Universal 120-277, 50/60Hz	T2=Type II, Lateral Throw T4=Type IV, Forward Throw T5X=Type V, Extra Wide Flood	DIMELV=Trailing Edge Phase DIM10=0-10V Dimming	Painted BK=Black BZ=Bronze CS=City Silver WT=White Premium Paint BA=Brushed NSS=Solid Stainless Steel	EDGE=Edge lit glass lens LCF=LightBAR cover plate matches housing finish
Notes	Notes	Notes	Notes	Notes	Notes (1) Custom and RAL color matching available upon request. Consult factory for further information.	Notes (2) Add suffix in the order shown. (3) LCF option not available when WT (white) finish is selected.

Product Specifications

Construction

- Head and back plate are precision machined from corrosion-resistant 6061-T6 aluminum
- A universal mounting plate and one piece silicone key hole gasket is provided for adaption to junction box or surface
- Stainless steel hardware is included

Mounting

- The luminaire mounts directly to a standard 4" square junction box
- For further mounting information see technical notes section on page 3

Optical

- LightBAR™ and optical assembly are sealed by a diffused, impact resistant tempered glass lens
- The optical assembly is available in three distributions: T2 (lateral throw), T4 (forward throw) and T5X (Extra Wide Flood)
- Available in several color temperatures: 2700K, 3000K, 3500K, 4000K and TSAM (Amber)
- Both color temperature and distribution must be specified when ordering – see catalog logic for details
- An edge-lit option is available

Electrical

- The 15.5W 303-W1-LEDB2 is standard with an ELV trailing edge phase dimmable driver that accepts a universal input (120-277, 50/60Hz)
- It will operate in -40°C to 50°C [-40°F to 122°F]
- The driver incorporates surge protection
- An optional 0-10V dimming driver is also available.

Finish

- The luminaires are double protected by a RoHS compliant chemical film undercoating and polyester powder coat paint finish, surpassing the rigorous demands of the outdoor environment
- A variety of standard colors are available
- RAL and custom color matches available upon request
- Luminaires can also be brushed with a clear coat finish
- The LightBAR™ cover plates are standard white and may be specified to match finish of luminaire housing (LCF)

Approvals

- UL and cUL listed, standard wet label
- Tested according to IESNA LM-79 and LM-80 procedures

- ROHS Compliant
- IP66 Ingressed Protection rated

Warranty

- Lumiere warrants the EON series of fixtures against defects in material and workmanship for five (5) years. Auxiliary equipment such as LED drivers carries the original manufacturer's warranty

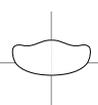
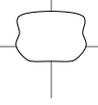
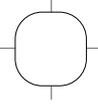
Lumen Maintenance

Ambient Temperature	TM-21 Lumen Maintenance (72,000 Hours)	TM-21 Reported L70(10k) (Hours)	Theoretical L70 (Hours)
25°C	> 94%	> 60,000	365,000
40°C			
50°C			

Current Draw

Model	Line Voltage	Current Draw
303-W1-LEDB2	120-277V, 50/60Hz	0.13A

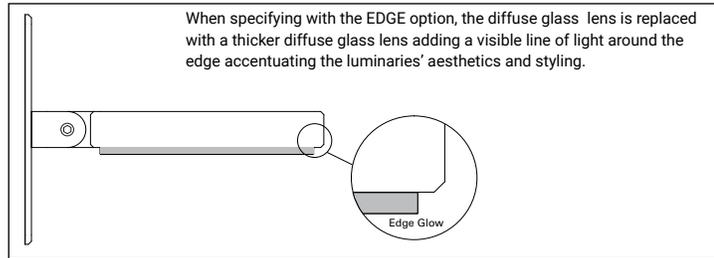
Lumens - CRI/CCT Table

Optic Type	Distribution	Watts	Delivered Lumens	LPW	CCT (K) / Color	CRI nom. / Wavelength
T2 (Lateral Throw)		15.5	1052	68	2700	90
			1082	70	3000	80
			1177	76	3500	80
		12.1	1151	74	4000	80
			351	29	TSAM	585-595nm
T4 (Forward Throw)		15.5	961	62	2700	90
			989	64	3000	80
			1075	69	3500	80
		12.1	1052	68	4000	80
			329	27	TSAM	585-595nm
T5X (Extra Wide Flood)		15.5	1174	76	2700	90
			1208	78	3000	80
			1313	85	3500	80
		12.1	1285	83	4000	80
			396	33	TSAM	585-595nm

NOTES: 1 When the LCF option is selected use a lumen multiplier of .85

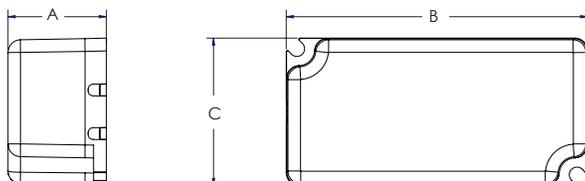
Options

Edge



Technical Notes

- Junction box size and depth is important when specifying product. Recommended junction boxes include 2-1/8" deep, 4" square weld/drawn Crouse Hinds part numbers TP403, TP434, TP494, TP196, TP395 or equivalent. Use with included universal mounting plate or with Crouse-Hinds part number TP480 or equivalent cover with similar fixture mounting locations.
- The universal wall plate provided with all EON wall mount fixtures can be used with an outdoor rated two gang 30.5 cubic inch capacity outlet box. Cooper Crouse-Hinds part numbers TP7086 – TP7122 or equivalent. The universal mounting plate will attach with four (4) 6-32 pan head/flat stainless steel screws (not provided).
- Driver can be remote mounted in a junction box a max distance of 25 feet (voltage drop needs to be considered) or placed in the junction box behind the luminaire.
- When specifying with the EDGE option, the diffused glass becomes thicker adding a visible line of light around the edge accentuating the luminaires' aesthetics and styling.
- If Luminaire will not be dimmed, the Luminaire must be ordered with DIMELV option, but does not have to be dimmed.
- Driver Dimensions:



Luminaire Type	Dimming Type	Driver Dimensions in [mm]		
		A	B	C
303-W1-LEDB2	DIMELV	.98 [25.0]	3.36 [85.3]	1.49 [37.9]
	DIM10	1.18 [30.0]	3.49 [88.6]	1.64 [41.6]



Town of Zionsville

MEMORANDUM

TO: Town of Zionsville Advisory Plan Commission
FROM: Wayne DeLong, AICP, CPM, Director of Planning and Economic Development
RE: Docket #2018-18-DP Amendment to Landscape Plan

Project Description

Aria is a 218-unit apartment community under construction by Cityscape Residential at 10919 Octave Dr, 5001 Opus Dr and 5002 Dolce Dr, Zionsville, IN 46077. The request includes three changes to the Landscaping Plan for Aria Zionsville. These changes are in adherence with the Town of Zionsville code and are as follows:

1. Reducing the North, South and West Perimeter Landscaping to Preserve Existing Trees
2. Updating Interior Landscaping
3. Updating Monument Signage

If there are any questions as to the content, please do not hesitate to contact our office.

Respectfully submitted,
Wayne DeLong, AICP, CPM



Town of Zionsville

Application for Amended Improvement Location Permit

Original ILP Number: 2019-456 (Bldg 1), 2019-519 (Bldg 2), 2019-520 (Bldg 3) Issued to: Aria Zionsville LLC
 Address: 10919 Octave Dr (Bldg 1), 5001 Opus Dr (Bldg 2), 5002 Dolce Dr (Bldg 3) Telephone Number: (317) 574-1600
 State Parcel ID#: 0191925000 Type of Construction Approved: Multifamily - New

SITE INFORMATION:

Lot Number: Bldg 1, 2, 3 Name of Subdivision/Development: Aria Apartments
 Address: 10919 Octave Dr (Bldg 1), 5001 Opus Dr (Bldg 2), 5002 Dolce Dr (Bldg 3)

DETAILED DESCRIPTION OF REVISION TO ORIGINAL ILP:

Minor amendment to the Development Plan (2018-18 DP). Landscaping Plan updates. See attachments.

--If this revision adds square feet of construction to the original ILP, enter here: N/A

--If this revision changes the cost of construction to the original ILP, enter here: N/A

--Include in submittal the appropriate documentation needed for review, i.e., construction plans, plot plan, etc.

NOTE: If the original building permit has received a Temporary Certificate of Occupancy (C/O) or a full C/O, amendments/revisions are not allowed and a new permit must be issued.

[Signature] AS MANAGER Date: 7/14/2020
 Signature of Applicant

JAMES E. THOMAS JR.
 Print AS MANAGER

Approved:
Date: _____
FEE:
Commercial: \$150.00 plus \$ _____
Total: _____
Residential: \$125.00 plus \$ _____
Total: _____



**OWNER'S AUTHORIZATION FOR THE SUBMITTAL OF AN APPLICATION FOR
IMPROVEMENT LOCATION PERMIT (Building Permit) FROM THE TOWN OF
ZIONSVILLE, INDIANA**

The undersigned, James E. Thomas, Jr., Manager, being the owner of
record of the property commonly known as
Aria Apartments,
hereby authorizes Aria Zionsville, LLC, to file an
application for an Improvement Location Permit/Building Permit for conducting
the following construction activity:
Minor Amendment to the Development Plan for Landscaping Updates

Signature of Owner:

Printed:

Address:

Telephone:

Date:

James E Thomas, Jr., Manager

8335 Keystone King, Suite 220
Indianapolis, IN 46240

(317) 574-1600

7/14/2020

Please be advised that all new construction must obtain a Certificate of Occupancy (C/O) prior to use or occupancy. A C/O cannot be issued until all required inspections have been scheduled and approved, including the final inspection. If a C/O has not been issued, such new construction will be in violation of State statutes and local ordinances; this could have a negative affect on any future sale of the property and/or on any insurance claims which may arise.

Application for Minor Amendment to the Development Plan
 Project: Aria Zionsville, LLC "Aria Apartments"
 Address: 10919 Octave Dr, 5001 Opus Dr, 5002 Dolce Dr, Zionsville, IN 46077
 Zoning: R-MF-2
 State Parcel ID: 0191925000

Zionsville Plan Commission:

Thank you for taking the time to review the Minor Amendment to Aria Zionsville LLC's Development Plan. Aria Zionsville is a 218-unit apartment community under construction by Cityscape Residential at 10919 Octave Dr, 5001 Opus Dr and 5002 Dolce Dr, Zionsville, IN 46077. The following submittal includes three changes to the Landscaping Plan for Aria Zionsville. These changes are in adherence with the Town of Zionsville code and are as follows:

1. Reducing the North, South and West Perimeter Landscaping to Preserve Existing Trees
2. Updating Interior Landscaping
3. Updating Monument Signage

#1 Reducing the Perimeter Landscaping to Preserve Existing Trees

Per the Urban Landscaping Requirements, § 194.109, Section D(2):

"Required front, side and rear bufferyards in all business and industrial districts, and front, side and rear perimeter yards in the R-MF-1 and R-MF-2 Districts shall be landscaped in compliance with the requirements of Table 12."

Table 12: Levels of Plantings - Bufferyards and Perimeter Yards (Table B)
Level A = Any combination of plants selected from the plant categories listed below, which equals or exceeds a plant unit value of 2 for each 100 lineal feet; provided that, at least 50% of the required plant unit value shall be derived from deciduous shade (overstory) trees, deciduous ornamental (understory) trees, evergreen trees or evergreen trees - narrow spread.
Level B = Any combination of plants selected from the plant categories listed below, which equals or exceeds a plant unit value of 3 for each 100 lineal feet; provided that, at least 25% of the required plant unit value shall be derived from deciduous shade (overstory) trees or deciduous ornamental (understory) trees and at least 25% of the plant unit value shall be derived from evergreen trees or evergreen trees - narrow spread.
Level C = Any combination of plants selected from the plant categories listed below, which equals or exceeds a plant unit value of 4 for each 100 lineal feet; provided that, at least 25% of the required plant unit value shall be derived from deciduous shade (overstory) trees or deciduous ornamental (understory) trees and at least 50% of the plant unit value shall be derived from evergreen trees or evergreen trees - narrow spread.

The subject property is zoned as R-MF-2. The North, South and West property perimeters are subject to these requirements. Based on Table 11: Bufferyard and Perimeter Yard Landscaping (Table A), the subject property perimeters require the following level of buffer:

- North Perimeter: Level A
- South Perimeter: Level B
- West Perimeter: Level B
- East Perimeter: No buffer requirement

Based on the length (LF) of each property perimeter, the following plant unit values are required:

- North Perimeter (Buffer Level A)
 - Perimeter Length: 920 LF
 - Plan Unit Values: $920 \text{ LF} / 100 \text{ LF} * 2 \text{ plant value unit} = \mathbf{18.4 \text{ plant value units}}$
- South Perimeter (Buffer Level B)
 - Perimeter Length: 920 LF
 - Plan Unit Values: $920 \text{ LF} / 100 \text{ LF} * 3 \text{ plant value unit} = \mathbf{27.6 \text{ plant value units}}$
- West Perimeter (Buffer Level B)
 - Perimeter Length: 690 LF
 - Plan Unit Values: $690 \text{ LF} / 100 \text{ LF} * 3 \text{ plant value unit} = \mathbf{20.7 \text{ plant value units}}$

The currently approved landscaping plan was designed with these required plant value units as a guideline and satisfied the conditions for the required plant values. Please see Exhibit 1: Landscaping Plan Original for the currently approved landscaping plan. The currently approved plant value calculations are as followed:

Approved Plant Value Units:

- North Perimeter (Req: 18.4 plant value units)
 - Plan Unit Values:
 - 37 new deciduous trees (2.5') * .5 plant value units = 18.5 plant value units
 - **Total = 18.5 plant value units**
- South Perimeter (Req: 27.6 plant value units)
 - Plan Unit Values:
 - 28 new deciduous trees (2.5') * .5 plant value units = 14 plant value units
 - 55 new evergreen trees (6') * .25 plant value unit = 13.75 plant value units
 - **Total = 27.75 plant value units**
- West Perimeter (Req: 20.7 plant value units)
 - Plan Unit Values:
 - 21 new deciduous trees (2.5') * .5 plant value units = 10.5 plant value units
 - 42 new evergreen trees (6') * .25 plant value unit = 10.5 plant value units
 - **Total = 21.0 plant value units**

The currently approved landscaping plan includes all new plantings. As construction on the site progressed, it became apparent that many of the existing trees on the property were still in excellent condition. These existing trees are mature as opposed to the smaller, young plants that are in the currently approved plan. Cityscape Residential believes the integration of the existing trees into the new plantings will be an enhancement to the property's landscaping.

Cityscape Residential engaged Jud Scott, a local arborist, to survey these perimeter trees and provide his opinion on these trees. Jud Scott's Arborist Report includes a positive approval of the trees, the location of the trees and the size of the trees (diameter at breast height). It should also be noted that all plants included in his calculations are located on the subject property. For more details and the plant value calculation of these existing trees please see Exhibit 2: Jud Scott Arborist Report.

Based on the Urban Landscaping Requirements, § 194.109, Section I(1), the preservation of existing tree rows is encouraged and may be approved per the Plan Commission subject to the conditions in § 194.109, Section I(2):

Section I(1): “In order to encourage the preservation of existing stands of trees or tree rows and to enhance the quality of the built environment, the Plan Commission may approve an alternative landscape plan which utilizes the designation of one or more tree save areas in lieu of new plantings within a required yard, a required perimeter yard, a required bufferyard, foundation plantings or interior landscape islands in parking lots.

Section I(2): 2) A 0.25 plant unit value credit shall be given for every two caliper inches of trees saved per 100-foot increment. The credit shall count towards the required new plantings within such 100-foot increment of a required yard, a required perimeter yard, a required bufferyard, foundation plantings or interior landscape islands in parking lots.

The updated landscaping proposal meets the standards set forward by Section I of the Urban Landscaping Requirements. In addition our North, South and West buffer plant value units increase from our currently approved plan, representing a benefit to both the property and the community. Please see Exhibit 3: Landscaping Plan Proposed for the updated Aria Zionsville landscaping plan. The updated plant unit value unit calculations are as follows:

Proposed Plant Value Units:

- North Perimeter (Req: 18.4 plant value units, Currently Approved: 18.5 plant value units)
 - Preserved Trees: 894 caliper inches
 - Plan Unit Values: 894 caliper inches / 2 * .25 plant value unit = **111.75 plant value units**
- South Perimeter (Req: 27.6 plant value units, Currently Approved: 27.75 plant value units)
 - Preserved Trees: 910 caliper inches
 - Plan Unit Values: 910 caliper inches / 2 * .25 plant value unit = **113.75 plant value units**
- West Perimeter (Req: 20.7 plant value units, Currently Approved: 21 plant value units)
 - Preserved Trees: 138 caliper inches
 - Plan Unit Values:
 - 138 caliper inches / 2 * .25 plant value unit = 17.25 plant value units
 - 21 new deciduous trees (2.5') * .5 plant value units = 10.5 plant value units
 - 42 new evergreen trees (6') * .25 plant value unit = 10.5 plant value units
 - **Total = 38.25 plant value units**

For ease of reference, below is a summary of the above calculations illustrating the required plant value units, the currently approved plant value units and the proposed plant value units. It shows how the proposed landscaping plan both satisfies the Urban Landscape Requirements and increases the property’s plant value about the currently approved levels.

Perimeter	Req. Plant Value	Approved Plant Value	Proposed Plant Value
North	18.40	18.50	111.75
South	27.60	27.75	113.75
West	20.70	21.00	38.25

In summary, integrating the existing trees with new plantings at the property will help to preserve the existing foliage while enhancing both the property and community curb appeal. The proposed plan meets the required code per the Urban Land Requirements and increases the plant values at the property.

#2 Interior Landscaping

The property contains a significant level of interior landscaping in addition to the perimeter landscaping. This interior landscaping plan was previously approved by the Town of Zionsville. As part of the proposed landscaping plan, slight revisions have been made to the interior landscaping. These revisions were based on updated building plans as well as improved designed aesthetics. The changes primarily occurred in (6) areas. Please see the Exhibit 4: Landscaping Interior which shows callouts/highlights representing each of these areas.

1. Pool: The pool plans were not finalized when the previous landscape plans were approved. As a result the landscaping around this area has been updated. (Red Callout)
2. North and South Courtyard: The original plans included a straight sidewalk terminating with landscaping. The updated plans included a winding sidewalk that connects a patio off the leasing center. There is a fire pit in both the North and South courtyard that intersects these sidewalks. The landscaping in these areas was updated to allow for the sidewalk, fire pits and patio. (Blue Callouts)
3. River Rock Areas: Select areas of landscaping were replaced with river rock over fabric to allow for better drainage off the buildings. (Purple Callouts)
4. Dog Park: These areas are intended to be a play area for dogs. As such, the number of trees in this area was reduced to allow for adequate play. (Orange Callouts)
5. Air Handling Units Landscaping: The placement of the air handling units was not finalized when the original landscaping plan was approved. The air handling units are ground units. The plans have been updated to reflect appropriate landscaping around these units. (Green Callouts)
6. Building Perimeter Landscaping: The landscaping around the perimeter of the building has been updated to allow better visibility off ground floor balconies for building residents. (Yellow Highlights)

In addition, a comparison plant list has been provided. This shows the plants on the previously approved landscaping plan versus the currently proposed landscaping plan and notes the reasons for the changes (Exhibit 5: Plant List Comparison).

#3 Monument Signage

The property will contain a monument sign on the northwest corner of Michigan Road and Weston Pointe Drive indicating the Aria Zionsville Apartments. The previously approved landscaping plan did not contain complete details on the monument sign as the sign design was not fully complete and approved at the time of the landscape approval. The updated landscaping plan fully incorporates the approved monument sign on the northeast corner of the site plan. See Exhibit 6: Monument Sign Location for a zoomed in view of its location on the landscaping plan.

The monument sign is located in Hamilton County and is subject to the City of Carmel regulations. The monument sign was approved by the City of Carmel on April 27, 2020. Please see Exhibit 7: Monument

Sign for the monument sign rendering and Exhibit 8: City of Carmel Monument Sign Approval for the City of Carmel approval.

Cityscape Residential appreciates you taking the time to review the Minor Amendment to Aria Zionsville LLC's Development Plan. Please reach out with any questions or concerns.

Thank You,

Jennifer Sewell
Development Associate
Cityscape Residential



8335 Keystone Crossing
Suite 220
Indianapolis, IN 46240
Phone: 317.912.3504
Mobile: 419.439.7802
www.cityscaperesidential.com

Exhibits:

- 1) Landscaping Plan Original
- 2) Jud Scott Arborist Report
- 3) Landscaping Plan Proposed
- 4) Landscaping Plan Interior
- 5) Plant List Comparison
- 6) Monument Sign Location
- 7) Monument Sign Rendering
- 8) City of Carmel Monument Sign Approval

Revisions:

Date:	Description:
06/04/18	City Comments
06/12/18	Adjusted Easements
06/28/18	Adjusted Easements
07/10/18	Added Contours

Landscape Code
Compliance
Plan

Michigan
Road Site

Zionsville, Indiana

A Residential Development by
Cityscape

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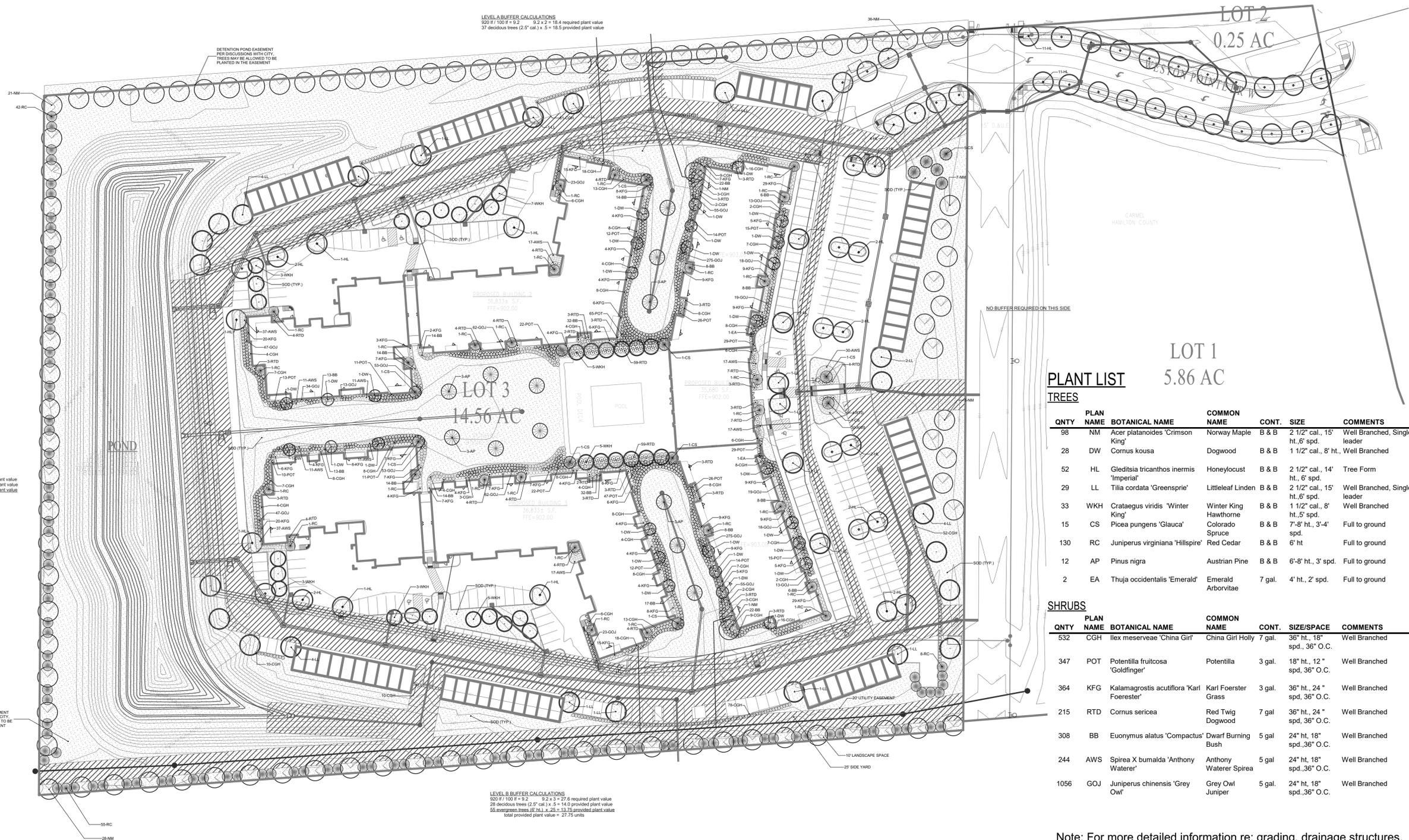
Sheet Title:
Site Landscape Plan

Date:
04/12/18

Sheet Number:

L-01

Not Released for Construction



PLANT LIST

LOT 1
5.86 AC

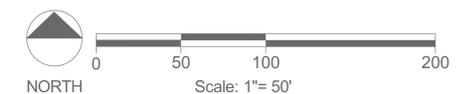
TREES

QNTY	PLAN NAME	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	COMMENTS
98	NM	Acer platanoides 'Crimson King'	Norway Maple	B & B	2 1/2" cal., 15' ht., 6' spd.	Well Branched, Single leader
28	DW	Cornus kousa	Dogwood	B & B	1 1/2" cal., 8' ht.,	Well Branched
52	HL	Gleditsia tricanthos inermis 'Imperial'	Honeylocust	B & B	2 1/2" cal., 14' ht., 6' spd.	Tree Form
29	LL	Tilia cordata 'Greenspire'	Littleleaf Linden	B & B	2 1/2" cal., 15' ht., 6' spd.	Well Branched, Single leader
33	WKH	Crataegus viridis 'Winter King'	Winter King Hawthorne	B & B	1 1/2" cal., 8' ht., 5' spd.	Well Branched
15	CS	Picea pungens 'Glauca'	Colorado Spruce	B & B	7'-8' ht., 3'-4' spd.	Full to ground
130	RC	Juniperus virginiana 'Hillspire'	Red Cedar	B & B	6' ht	Full to ground
12	AP	Pinus nigra	Austrian Pine	B & B	6'-8' ht., 3' spd.	Full to ground
2	EA	Thuja occidentalis 'Emerald'	Emerald Arborvitae	7 gal.	4" ht., 2' spd.	Full to ground

SHRUBS

QNTY	PLAN NAME	BOTANICAL NAME	COMMON NAME	CONT.	SIZE/SPACE	COMMENTS
532	CGH	Ilex meserveae 'China Girl'	China Girl Holly	7 gal.	36" ht., 18" spd., 36" O.C.	Well Branched
347	POT	Potentilla fruticosa 'Goldfinger'	Potentilla	3 gal.	18" ht., 12" spd., 36" O.C.	Well Branched
364	KFG	Kalamagrostis acutiflora 'Karl Foerster'	Karl Foerster Grass	3 gal.	36" ht., 24" spd., 36" O.C.	Well Branched
215	RTD	Cornus sericea	Red Twig Dogwood	7 gal.	36" ht., 24" spd., 36" O.C.	Well Branched
308	BB	Euonymus alatus 'Compactus'	Dwarf Burning Bush	5 gal.	24" ht, 18" spd., 36" O.C.	Well Branched
244	AWS	Spirea X bumalda 'Anthony Waterer'	Anthony Waterer Spirea	5 gal.	24" ht, 18" spd., 36" O.C.	Well Branched
1056	GOJ	Juniperus chinensis 'Grey Owl'	Grey Owl Juniper	5 gal.	24" ht, 18" spd., 36" O.C.	Well Branched

Note: For more detailed information re: grading, drainage structures, etc. see civil engineering plans





Jud Scott

CONSULTING ARBORIST

4721 E. 146th St., Carmel, IN 46033
P: 317.815.8733 • F: 317.818.9865
judscottconsultingarborist.com
treeconsultant@aol.com

September 1, 2019

Ashley Bedell
City Scape Residential
8335 Keystone Crossing Suite 220
Indianapolis IN 46240

Re: City Scape Residential- Zionsville Indiana, ~107th and Michigan Road

Methodology:

Trees one (1) inch and over in diameter (at 4.5 feet off the ground) were inventoried. The inventoried area is the woodland edge South and North of the new development. The inventory was to include species, botanical name, size, condition and observations as to where in 100-foot increments on the site. Note: Tree measurements may be +/- an inch for the larger trees, as trees are not perfect circles.

The inventory for the most part did not include white ash (*Fraxinus americana*), or honeysuckle (*Lonicera*). It did include a grouping of witch hazel (*Hamamelis*) because the specimens were growing in tree form.

Findings:

Attached is the requested tree inventory. The inventory includes a total of two hundred and ninety- nine trees (299). Of those eleven (11) are structurally unsound and or dead and should be removed.

General Notes:

- The inventoried trees are generally in average condition.
- The two hundred and ninety-nine trees (299) total one thousand nine hundred and forty-seven inches (1947).
- This inventory was conducted to provide information as to species, size and general condition of the trees. It should not be seen as a hazard tree assessment. Some obviously dead trees were noted as a courtesy, not as part of the scope of the service. Further analysis is available should this information be desired.

I certify that all the statements of fact in this report are true, complete and correct to the best of my knowledge and belief, and that they are made in good faith.

Jud Scott Consulting Arborist LLC
Registered Consulting Arborist #392
American Society of Consulting Arborists



Aerial Photo of Site



GoogleEarth Aerial

STATEMENT OF QUALIFICATIONS

Jud Scott

Registered Consulting Arborist #392,
American Society of Consulting Arborists

Certified Arborist #IN-0287A,
International Society of Arboriculture

M. Arbor A. #PR 200177,
Arboricultural Association, U.K.

Past President, American Society of Consulting Arborists

Member Jud Scott Consulting Arborist LLC,
2010-Present

President, Vine & Branch Inc. 1980-Present



Education

1980 Wabash College, Bachelor of Arts
International Society of Arboriculture, Certified Arborist IN-0287A
American Society of Consulting Arborists, Academy Graduate
American Society of Consulting Arborists, Registered Consulting Arborist #392

Professional Association Membership

American Society of Consulting Arborists (ASCA)
Arboricultural Association of U.K. (AA)
Indiana Arborists Association (IAA)
Indiana Academy of Science
Indiana Nurserymen's and Landscape Association (INLA)
Indianapolis Landscape Association (ILA)
International Society of Arboriculture (ISA)
National Society of Professional Insurance Investigators (NSPII)
Tree Care Industry Association (TCIA)
Utility Arborist Association (UAA)

79	Sugar maple	<i>Acer</i>	1	Average	600-699	North
80	Sugar maple	<i>Acer</i>	2	Average	600-699	North
81	Sugar maple	<i>Acer</i>	6	Average	600-699	North
82	Sugar maple	<i>Acer</i>	11	Average	600-699	North
83	Sugar maple	<i>Acer</i>	10	Average	600-699	North
84	Sugar maple	<i>Acer</i>	6	Average	600-699	North
85	Eastern	<i>Celtis</i>	2	Average	600-699	North
86	Black walnut	<i>Junglans</i>	17	Average	700-799	North
87	Sugar maple	<i>Acer</i>	12	Average	700-799	North
88	Sugar maple	<i>Acer</i>	3	Average	700-799	North
89	Sugar maple	<i>Acer</i>	5	Average	700-799	North
90	Sugar maple	<i>Acer</i>	3	Average	700-799	North
91	Sugar maple	<i>Acer</i>	9	Average	700-799	North
92	Sugar maple	<i>Acer</i>	2	Average	700-799	North
93	Sugar maple	<i>Acer</i>	3	Average	700-799	North
94	Black cherry	<i>Prunus</i>	12	Average	700-799	North
95	Sugar maple	<i>Acer</i>	6	Average	700-799	North
96	Sugar maple	<i>Acer</i>	2	Average	700-799	North
97	Bitternut	<i>Carya</i>	7	Average	700-799	North
98	Sugar maple	<i>Acer</i>	3	Average	700-799	North
99	Bitternut	<i>Carya</i>	9	Average	700-799	North
101	Sugar maple	<i>Acer</i>	4	Average	700-799	North
102	Sugar maple	<i>Acer</i>	3	Average	700-799	North
103	Sugar maple	<i>Acer</i>	10	Average	700-799	North
104	Sugar maple	<i>Acer</i>	6	Average	700-799	North
105	Sugar maple	<i>Acer</i>	2	Average	700-799	North
106	Sugar maple	<i>Acer</i>	6	Average	700-799	North
107	Sugar maple	<i>Acer</i>	3	Average	700-799	North
108	Sugar maple	<i>Acer</i>	11	Average	700-799	North
109	Sugar maple	<i>Acer</i>	4	Average	800-899	North
110	Sugar maple	<i>Acer</i>	7	Average	800-899	North
111	Sugar maple	<i>Acer</i>	7	Average	800-899	North
113	Sugar maple	<i>Acer</i>	3	Average	800-899	North
114	Sugar maple	<i>Acer</i>	4	Average	800-899	North
115	Sugar maple	<i>Acer</i>	1	Average	800-899	North
116	Sugar maple	<i>Acer</i>	1	Average	800-899	North
117	Sugar maple	<i>Acer</i>	2	Average	800-899	North
118	Sugar maple	<i>Acer</i>	5	Average	800-899	North
119	Eastern	<i>Celtis</i>	10	Average	800-899	North
120	Shagbark	<i>Carya ovata</i>	24	Average	800-899	North
121	Sugar maple	<i>Acer</i>	1	Average	800-899	North
122	Shagbark	<i>Carya ovata</i>	14	Average	800-899	North
123	Shagbark	<i>Carya ovata</i>	18	Average	800-899	North
124	Shagbark	<i>Carya ovata</i>	3	Average	800-899	North
125	Shagbark	<i>Carya ovata</i>	6	Average	800-899	North
126	Shagbark	<i>Carya ovata</i>	5	Average	800-899	North
127	Shagbark	<i>Carya ovata</i>	5	Average	800-899	North
128	Shagbark	<i>Carya ovata</i>	6	Average	800-899	North
129	Shagbark	<i>Carya ovata</i>	2	Average	800-899	North
130	Shagbark	<i>Carya ovata</i>	3	Average	800-899	North
131	Shagbark	<i>Carya ovata</i>	3	Average	800-899	North
132	Eastern	<i>Celtis</i>	7	Average	800-899	North
133	Eastern	<i>Celtis</i>	9	Average	800-899	North
134	Black walnut	<i>Junglans</i>	20	Average	800-899	North
135	Sugar maple	<i>Acer</i>	3	Average	800-899	North
136	Shagbark	<i>Carya ovata</i>	18	Average	900-999	North
137	Eastern	<i>Celtis</i>	10	Average	900-999	North
138	Sugar maple	<i>Acer</i>	5	Average	900-999	North
139	Sugar maple	<i>Carya ovata</i>	5	Average	900-999	North
140	Eastern	<i>Celtis</i>	12	Average	900-999	North
141	Bitternut	<i>Carya</i>	10	Average	900-999	North
142	Bitternut	<i>Carya</i>	1	Average	900-999	North
144	Black cherry	<i>Prunus</i>	1	Average	900-999	North
145	Sugar maple	<i>Acer</i>	3	Average	Northwest Corner	West
146	Sugar maple	<i>Acer</i>	3	Average	Northwest Corner	West
147	Sugar maple	<i>Acer</i>	4	Average	Northwest Corner	West
148	Sugar maple	<i>Acer</i>	1	Average	Northwest Corner	West
149	Grey dogwood	<i>Cornus</i>	2	Average	Northwest Corner	West
150	Shagbark	<i>Carya ovata</i>	34	Average	Northwest Corner	West
151	Common	<i>Diospyros</i>	3	Average	Northwest Corner	West
152	Sugar maple	<i>Acer</i>	6	Average	Northwest Corner	West
153	Bitternut	<i>Carya</i>	8	Average	Northwest Corner	West
154	Bitternut	<i>Carya</i>	15	Average	Northwest Corner	West
155	Bitternut	<i>Carya</i>	4	Average	Northwest Corner	West
156	Sugar maple	<i>Acer</i>	7	Average	Northwest Corner	West
157	Sugar maple	<i>Acer</i>	2	Average	Northwest Corner	West
158	Sugar maple	<i>Acer</i>	1	Average	Northwest Corner	West
159	Sugar maple	<i>Acer</i>	3	Average	Northwest Corner	West
160	Shagbark	<i>Carya ovata</i>	16	Average	Northwest Corner	West
161	Sugar maple	<i>Acer</i>	4	Average	Northwest Corner	West
162	Sugar maple	<i>Acer</i>	4	Average	Northwest Corner	West
163	Sugar maple	<i>Acer</i>	5	Average	Northwest Corner	West
164	Eastern	<i>Celtis</i>	4	Average	Northwest Corner	West
165	White	<i>Morus alba</i>	9	Average	#Weihe Pin found S.E.	West
166	Sugar maple	<i>Acer</i>	6	Average	1-99 South	South

167	Box elder	<i>Acer negundo</i>	5	Average	1-99 South	South
168	Eastern	<i>Celtis</i>	17	Average	1-99 South	South
169	Eastern	<i>Celtis</i>	11	Average	1-99 South	South
170	Eastern	<i>Celtis</i>	14	Average	1-99 South	South
171	Eastern	<i>Celtis</i>	4	Average	100-199 South	South
172	Black walnut	<i>Junglans</i>	5	Average	100-199 South	South
173	Black walnut	<i>Junglans</i>	12	Average	100-199 South	South
174	Black walnut	<i>Junglans</i>	13	Average	100-199 South	South
175	Black walnut	<i>Junglans</i>	12	Average	100-199 South	South
176	Box elder	<i>Acer negundo</i>	14	Average	200-299 South	South
177	Bradford pear	<i>Pyrus c.</i>	16	Average	200-299 South	South
178	Eastern	<i>Celtis</i>	10	Average	200-299 South	South
179	Eastern	<i>Celtis</i>	10	Average	200-299 South	South
180	Eastern	<i>Celtis</i>	10	Average	200-299 South	South
181	Eastern	<i>Celtis</i>	11	Average	200-299 South	South
182	Eastern	<i>Celtis</i>	9	Average	200-299 South	South
183	Eastern	<i>Celtis</i>	10	Average	200-299 South	South
184	Eastern	<i>Celtis</i>	11	Average	200-299 South	South
185	Eastern	<i>Celtis</i>	5	Average	200-299 South	South
186	Eastern	<i>Celtis</i>	13	Average	200-299 South	South
187	Eastern	<i>Celtis</i>	7	Average	200-299 South	South
188	Black walnut	<i>Junglans</i>	10	Average	200-299 South	South
189	Black walnut	<i>Junglans</i>	10	Average	300-399 South	South
190	Black walnut	<i>Junglans</i>	18	Average	300-399 South	South
191	Eastern	<i>Celtis</i>	5	Average	300-399 South	South
192	Eastern	<i>Celtis</i>	12	Average	300-399 South	South
193	Eastern	<i>Celtis</i>	3	Average	300-399 South	South
194	Eastern	<i>Celtis</i>	11	Average	300-399 South	South
195	Eastern	<i>Celtis</i>	3	Average	300-399 South	South
196	Black walnut	<i>Junglans</i>	9	Average	300-399 South	South
197	Eastern	<i>Celtis</i>	6	Average	300-399 South	South
198	Grey dogwood	<i>Cornus</i>	2	Average	300-399 South	South
199	Black walnut	<i>Junglans</i>	9	Average	300-399 South	South
200	Black walnut	<i>Junglans</i>	13	Average	300-399 South	South
201	Eastern	<i>Celtis</i>	2	Average	400-499 South	South
202	Eastern	<i>Celtis</i>	2	Average	400-499 South	South
203	Eastern	<i>Celtis</i>	14	Average	400-499 South	South
204	Black walnut	<i>Junglans</i>	11	Average	400-499 South	South
205	Eastern	<i>Celtis</i>	8	Average	400-499 South	South
206	Eastern	<i>Celtis</i>	4	Average	400-499 South	South
207	Eastern	<i>Celtis</i>	2	Average	400-499 South	South
208	Eastern	<i>Celtis</i>	2	Average	400-499 South	South
209	Eastern	<i>Celtis</i>	2	Average	400-499 South	South
210	Eastern	<i>Celtis</i>	2	Average	400-499 South	South
211	Black walnut	<i>Junglans</i>	5	Average	400-499 South	South
212	Eastern	<i>Celtis</i>	10	Average	400-499 South	South
213	Eastern	<i>Celtis</i>	5	Average	Remove- 400-499 South	South
214	Redbud	<i>Cercis</i>	4	Average	400-499 South	South
215	Black walnut	<i>Junglans</i>	9	Average	400-499 South	South
216	Black walnut	<i>Junglans</i>	3	Average	400-499 South	South
217	American elm	<i>Ulmus</i>	8	Average	400-499 South	South
218	American elm	<i>Ulmus</i>	2	Average	400-499 South	South
219	American elm	<i>Ulmus</i>	2	Average	400-499 South	South
220	American elm	<i>Ulmus</i>	4	Average	400-499 South	South
221	Black walnut	<i>Junglans</i>	8	Average	500-599 South	South
222	Sugar maple	<i>Acer</i>	9	Average	500-599 South	South
223	American elm	<i>Ulmus</i>	9	Average	500-599 South	South
224	Eastern	<i>Celtis</i>	2	Average	500-599 South	South
225	American elm	<i>Ulmus</i>	9	Average	500-599 South	South
226	Black walnut	<i>Junglans</i>	9	Average	500-599 South	South
227	Black walnut	<i>Junglans</i>	12	Average	500-599 South	South
228	Eastern	<i>Celtis</i>	11	Average	500-599 South	South
229	Sugar maple	<i>Acer</i>	6	Average	500-599 South	South
230	White	<i>Cornus</i>	13	Average	500-599 South	South
231	Eastern	<i>Celtis</i>	9	Average	500-599 South	South
232	Eastern	<i>Celtis</i>	1	Average	500-599 South	South
233	Eastern	<i>Celtis</i>	13	Average	500-599 South	South
234	Eastern	<i>Celtis</i>	2	Average	500-599 South	South
235	Black walnut	<i>Junglans</i>	2	Average	500-599 South	South
236	Grey dogwood	<i>Cornus</i>	1	Average	500-599 South	South
237	Grey dogwood	<i>Cornus</i>	3	Average	500-599 South	South
238	Grey dogwood	<i>Cornus</i>	2	Average	500-599 South	South
239	Grey dogwood	<i>Cornus</i>	1	Average	500-599 South	South
240	Grey dogwood	<i>Cornus</i>	1	Average	500-599 South	South
241	Sugar maple	<i>Acer</i>	3	Average	600-699 South	South
242	Eastern	<i>Celtis</i>	12	Average	600-699 South	South
244	Eastern	<i>Celtis</i>	5	Average	600-699 South	South
245	Eastern	<i>Celtis</i>	5	Average	600-699 South	South
246	American elm	<i>Ulmus</i>	6	Average	600-699 South	South
247	Eastern	<i>Celtis</i>	6	Average	600-699 South	South
248	Eastern	<i>Celtis</i>	7	Average	600-699 South	South
249	Shagbark	<i>Carya ovata</i>	9	Average	600-699 South	South
250	Ohio buckeye	<i>Aesculus</i>	10	Average	600-699 South	South
251	Ohio buckeye	<i>Aesculus</i>	12	Average	600-699 South	South
252	Eastern	<i>Celtis</i>	2	Average	600-699 South	South

253	Ohio buckeye	<i>Aesculus</i>	8	Average	600-699 South	South
254	Eastern	<i>Celtis</i>	8	Average	600-699 South	South
255	Eastern	<i>Celtis</i>	3	Average	600-699 South	South
256	Eastern	<i>Celtis</i>	8	Average	600-699 South	South
257	Eastern	<i>Celtis</i>	3	Average	600-699 South	South
258	Eastern	<i>Celtis</i>	7	Average	600-699 South	South
259	Eastern	<i>Celtis</i>	6	Average	600-699 South	South
263	Eastern	<i>Celtis</i>	1	Average	700-799 South	South
264	Eastern	<i>Celtis</i>	2	Average	700-799 South	South
265	Eastern	<i>Celtis</i>	6	Average	700-799 South	South
266	Red oak	<i>Quercus</i>	10	Average	700-799 South	South
267	Red oak	<i>Quercus</i>	7	Average	700-799 South	South
268	Red oak	<i>Quercus</i>	15	Average	700-799 South	South
269	Black walnut	<i>Junglans</i>	3	Average	700-799 South	South
270	Red oak	<i>Quercus</i>	11	Average	700-799 South	South
271	Red oak	<i>Quercus</i>	3	Average	700-799 South	South
272	Red oak	<i>Quercus</i>	3	Average	700-799 South	South
273	Red oak	<i>Quercus</i>	4	Average	700-799 South	South
274	Red oak	<i>Quercus</i>	4	Average	700-799 South	South
275	Red oak	<i>Quercus</i>	5	Average	700-799 South	South
276	Red oak	<i>Quercus</i>	3	Average	700-799 South	South
277	American elm	<i>Ulmus</i>	3	Average	700-799 South	South
278	Red oak	<i>Quercus</i>	9	Average	700-799 South	South
281	Red oak	<i>Quercus</i>	11	Average	700-799 South	South
282	Red oak	<i>Quercus</i>	3	Average	700-799 South	South
283	American elm	<i>Ulmus</i>	3	Average	700-799 South	South
284	Ohio buckeye	<i>Aesculus</i>	10	Average	800-899 South	South
285	Ohio buckeye	<i>Aesculus</i>	5	Average	800-899 South	South
286	Red oak	<i>Quercus</i>	6	Average	800-899 South	South
287	Red oak	<i>Quercus</i>	18	Average	800-899 South	South
288	Ohio buckeye	<i>Aesculus</i>	9	Average	800-899 South	South
289	Red oak	<i>Quercus</i>	12	Average	800-899 South	South
290	Hawthorn	<i>Crataegus sp.</i>	5	Average	800-899 South	South
291	Red oak	<i>Quercus</i>	16	Average	800-899 South	South
292	Red oak	<i>Quercus</i>	2	Average	800-899 South	South
293	Sugar maple	<i>Acer</i>	3	Average	800-899 South	South
294	Ohio buckeye	<i>Aesculus</i>	5	Average	800-899 South	South
295	Ohio buckeye	<i>Aesculus</i>	7	Average	800-899 South	South
296	Ohio buckeye	<i>Aesculus</i>	2	Average	800-899 South	South
297	Swamp white	<i>Quercus</i>	14	Average	800-899 South	South
298	Sugar maple	<i>Acer</i>	11	Average	800-899 South	South
299	Black walnut	<i>Junglans</i>	4	Average	800-899 South- END	South
	Total Inches		1947			
	Trees not to					
3	American	<i>Tilia</i>	17	Dead	Remove- 1-99	
64	Black walnut	<i>Junglans</i>	16	Dead	Remove- 500-599	
100	White ash	<i>Fraxinus</i>	30	Dead	Remove 700-799	
112	Black cherry	<i>Prunus</i>	8	Dead	Remove 800-899	
143	Sugar maple	<i>Acer</i>	10	Dead	Remove- 900-999	
243	Black cherry	<i>Prunus</i>	15	Dead	Remove 600-699 South	
260	Black walnut	<i>Junglans</i>	18	Dead	Remove 600-699 South	
261	Black walnut	<i>Junglans</i>	9	Dead	Remove 600-699 South	
262	Sugar maple	<i>Acer</i>	7	Dead	Remove 600-699 South	
279	Red oak	<i>Quercus</i>	5	Dead	Remove 700-799 South	
280	Red oak	<i>Quercus</i>	17	Dead	Remove 700-799 South	
	Total Inches		152			

Exhibit 3: Landscaping Plan Proposed

Revisions:

Date	Description
08/25/18	Owner Comments

Landscape Documents

Aria Apartments

Zionsville, Indiana

A Residential Development by
 Cityscape

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Sheet Title:
 Overall Site
 Landscape Plan

Date:
 04/12/18

Sheet Number:

L1

Not Released for Construction

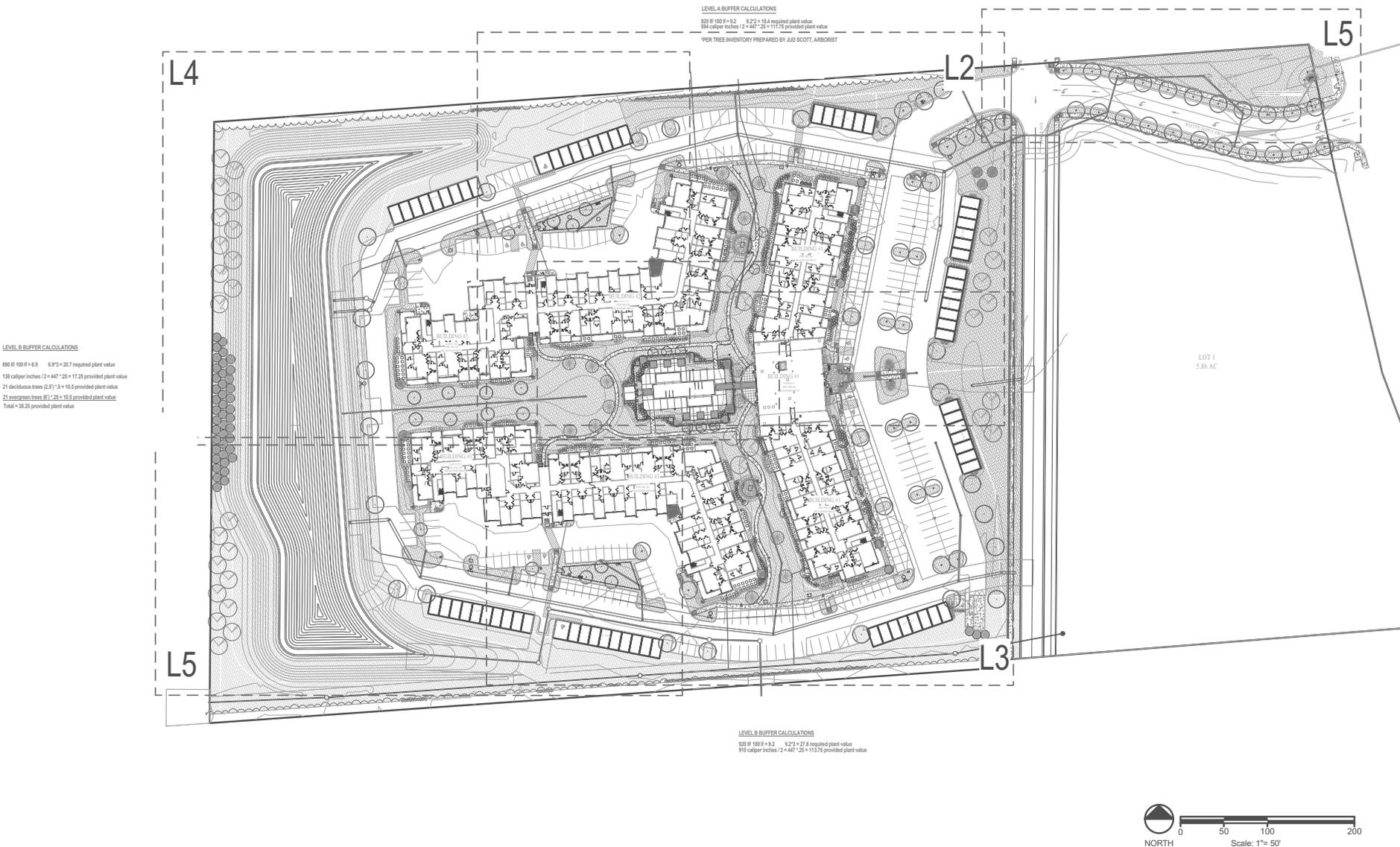
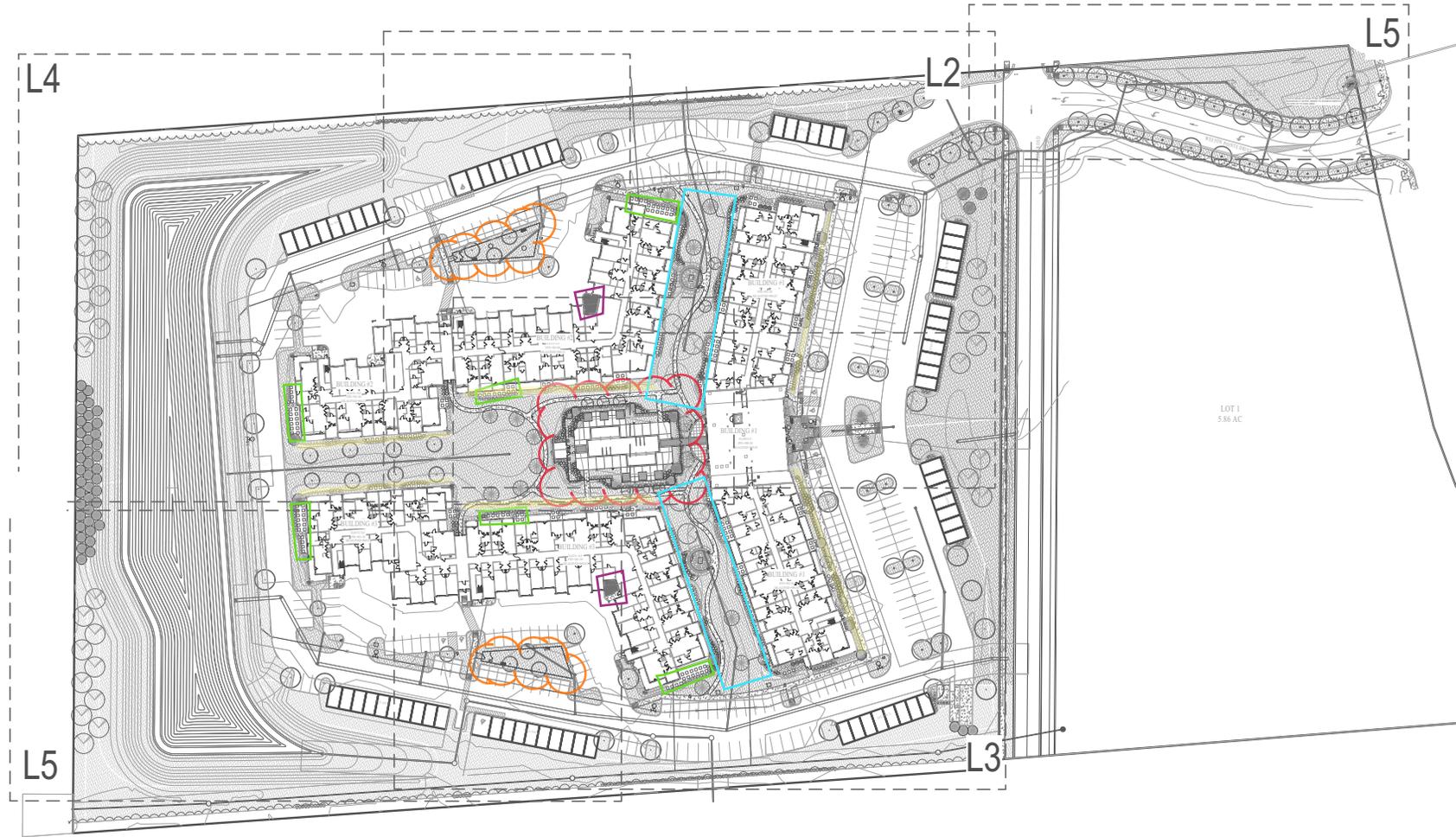


Exhibit 4: Landscaping Plan Interior

SGN+A

Planning · Architecture
Landscape Architecture

SGN+A, Inc.
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Suite 755
Decatur, Georgia 30030
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www.sgnplusa.com



- | Item | Color |
|---------------------------|---|
| Pool | |
| North and South Courtyard | |
| River Rock Areas | |
| Dog Parks | |
| Air Handling Units | |
| Building Perimeter | |



Revisions:

Date	Description
08/25/18	Owner Comments

Landscape Documents

Aria Apartments

Zionsville, Indiana

A Residential Development by
Cityscape

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Sheet Title:
Overall Site
Landscape Plan

Date:
04/12/18

Sheet Number:

L1

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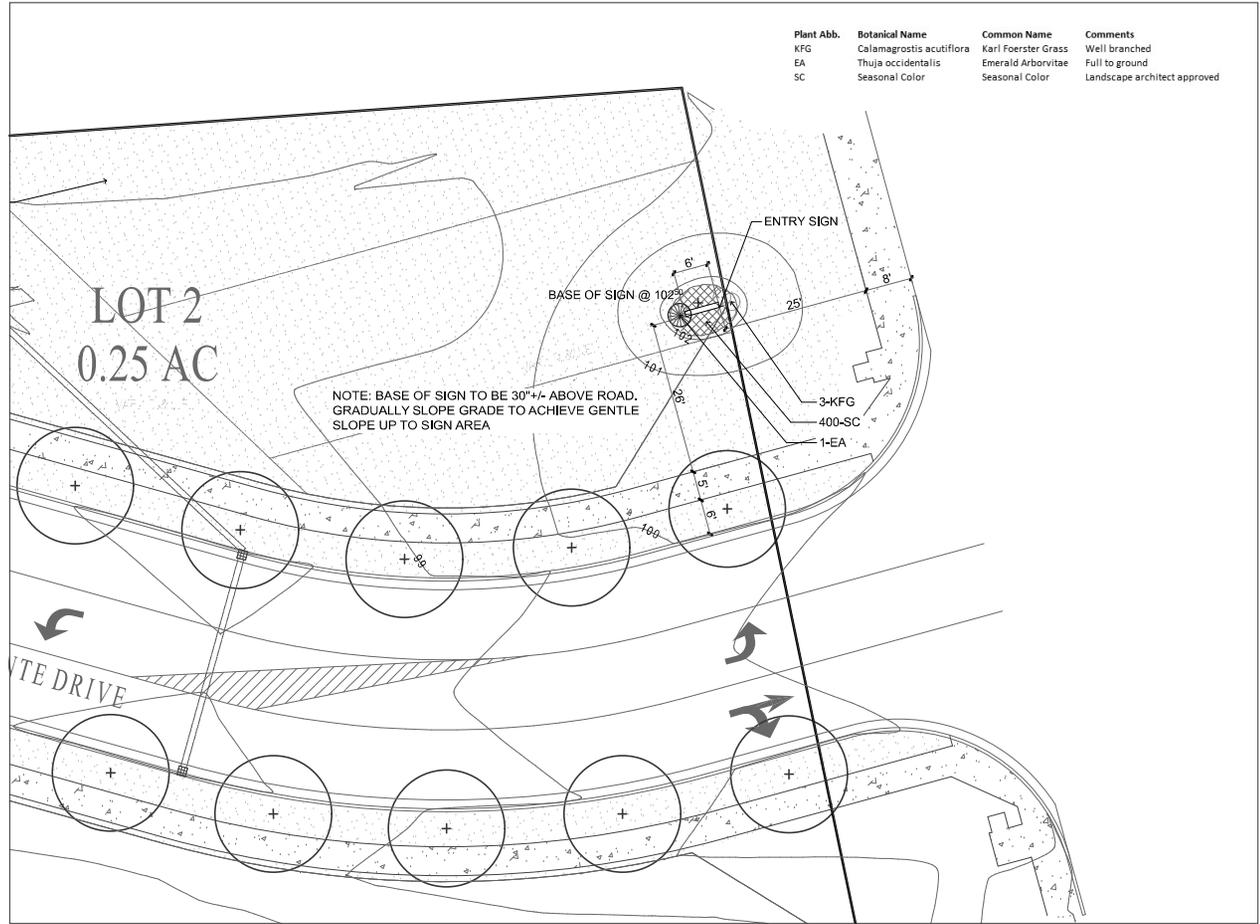
Exhibit 5: Aria Zionsville Plant Comparison

TREES					
Plan Name	Botanical Name	Common Name	Original Number	Proposed Number	Comments
NM	Acer platanoides 'Crimson King'	Norway Maple	98	35	Reduced along exterior perimeter due to preserving existing trees
DW	Cornus kousa	Dogwood	28	22	Exchanged with Winter King Hawthorne in south courtyard
HL	Gleditsia tricanthos inermis 'Imperial'	Honeylocust	52	45	Select reductions throughout property
LL	Tilia cordata 'Greenspie'	Littleleaf Linden	29	27	Rearranged around parking garages and back of property
WKH	Crataegus viridis 'Winter King'	Winter King Hawthorne	33	22	Added in south courtyard; Reduced in dog park areas and south islands
CS	Picea pungens 'Glauca'	Colorado Spruce	15	10	Reduced around pool to allow for new landscaping design
RC	Juniperus virginiana 'Hillspire'	Red Cedar	130	58	Reduced along exterior perimeter due to preserving existing trees
AP	Pinus nigra	Austrian Pine	12	12	No change in number; rearranged locations in west courtyard
EA	Thuja occidentalis 'Emerald'	Emerald Arborvitae	2	30	Increased around pool and throughout interior courtyard

SHRUBS					
Plan Name	Botanical Name	Common Name	Original Number	Proposed Number	Comments
CCG	Ilex meserveae 'China Girl'	China Girl Holly	532	601	Increased around pool and courtyard areas
POT	Potentilla fruticosa 'Goldfinger'	Potentilla	347	83	Reduced around north and south courtyard to allow for sidewalk extension
KFG	Kalamafrostis acutiflora 'Karl Foerster'	Karl Foerster Grass	364	602	Increased around pool and fire pits; exchanged other plants with Karl Koerster Grass for height
RTD	Cornus sericea	Red Twig Dogwood	215	129	Reduced around pool for updated landscaping plan
BB	Euonymus alatus 'Compactus'	Dwarf Burning Bush	308	234	Reduced around ground floor balconies for better resident visibility
AWS	Spirea X bumalda 'Anthony Waterer'	Anthony Waterer Spirea	244	48	Replaced select landscaped areas with river rock to allow for better drainage and for sidewalk extension in courtyard
DOJ	Juniperus chinensis 'Grey Owl'	Grey Owl Juniper	1056	375	Reduced around ground floor balconies for better resident visibility

*Overall required to reduce shrub count due to air handling units which were not in previous landscaping plans

Exhibit 6: Monument Sign Location



Planning · Architecture
Landscape Architecture

SGN+A, Inc.
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Decatur, Georgia 30030
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Fax: 404.373.7372
www.sgnplusa.com

Revisions:

Date	Description
03/18/20	Entry Sign
03/31/20	Entry Sign
04/12/20	Entry Sign

Landscape Documents

Aria Apartments

Zionsville, Indiana

A Residential Development by
Cityscape

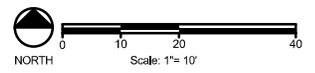
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Sheet Title:
Entry Sign Layout & Landscaping

Date:
04/12/18

Sheet Number:

L5A



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Exhibit 7: Monument Sign Rendering



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Elevation View



Scale: 3/4" = 1ft
(11 X 17 PAPER)

**CITYSCAPE RESIDENTIAL
ARIA APARTMENTS**

Sales Manager: Troy Drews
Designer: Chris

Start Date: 03.16.2020

PROJECT PHASE:

DEVELOPMENT
APPROVED

REVISIONS:

V8 03.16.2020__CN

COLOR SWATCHES:

 Pantone 539 C  Pantone 2297 C

INSTALL / PROJECT NOTES:

XXXXXXXXXX

Customer Approval Signature

Date:

SHEET. 01

FILE LOCATION:

Client Folder: Aria - Cityscape

Project Folder: PROOFS

File Name: Monument_Feb_2020V3.ai



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CITYSCAPE RESIDENTIAL ARIA APARTMENTS

Sales Manager: Troy Drews
Designer: Chris

Start Date: 02.17.2020

PROJECT PHASE:

DEVELOPMENT

APPROVED

REVISIONS:

V6 02.17.2020__CN

COLOR SWATCHES:



Pantone
539 C



Pantone
2297 C

INSTALL / PROJECT NOTES:

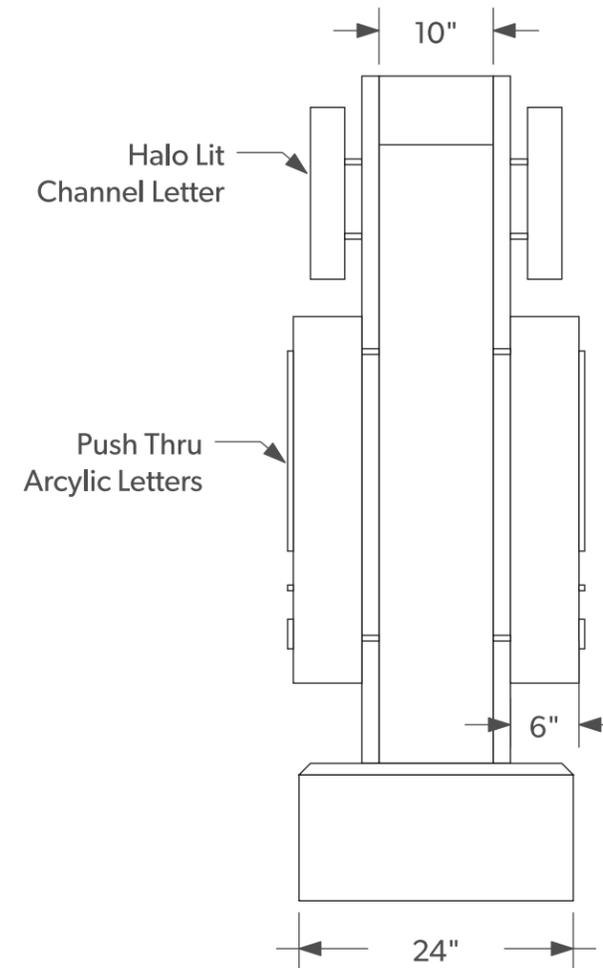
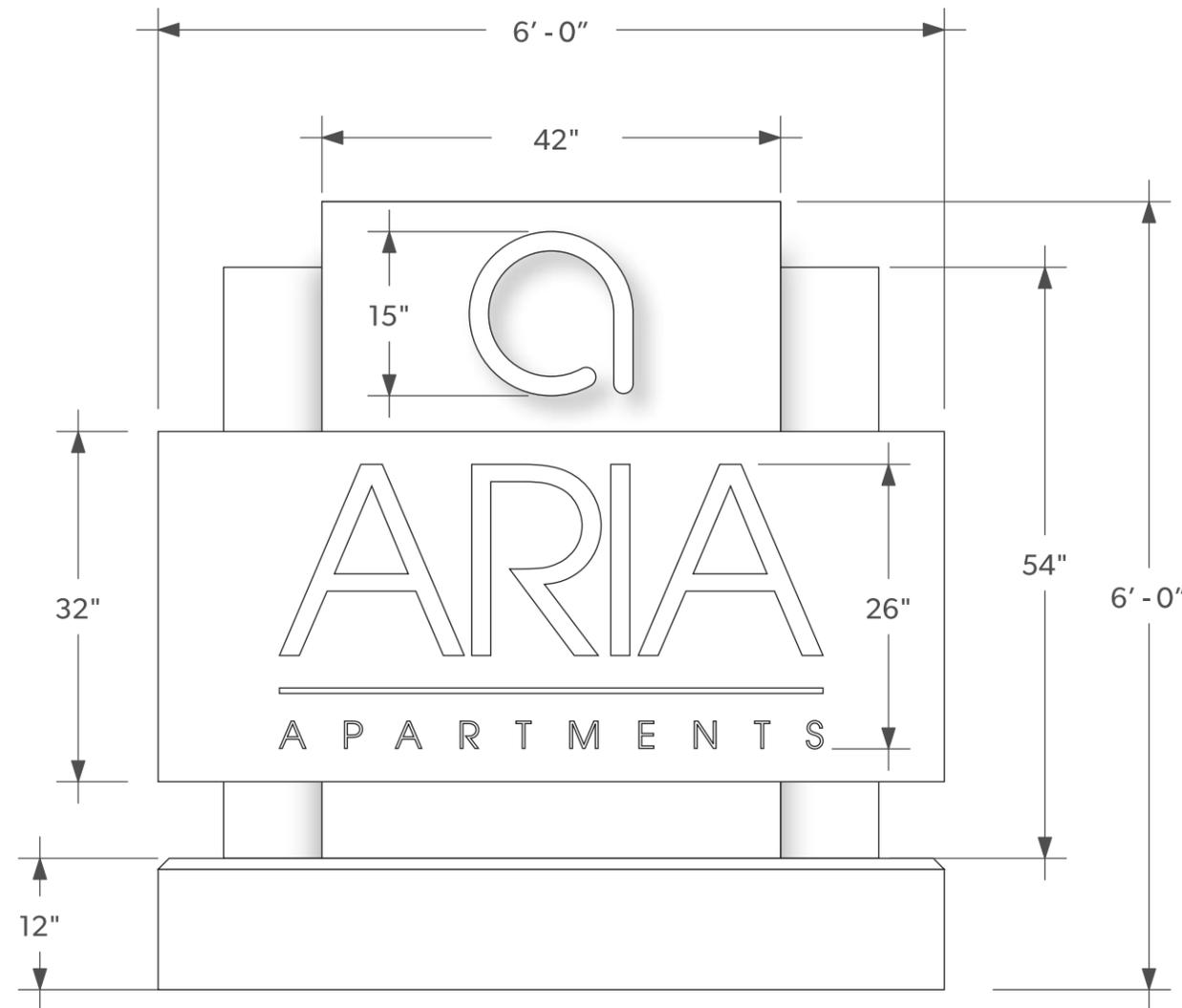
XXXXXXXXXX

Customer Approval Signature

Date:

SHEET. 02

Side View



Scale: 3/4" = 1ft
(11 X 17 PAPER)

FILE LOCATION:

Client Folder: Aria - Cityscape

Project Folder: PROOFS

File Name: Monument_Feb_2020V3.ai



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CITYSCAPE RESIDENTIAL ARIA APARTMENTS

Sales Manager: Troy Drews
Designer: Chris

Start Date: 02.17.2020

PROJECT PHASE:

DEVELOPMENT

APPROVED

REVISIONS:

V6 02.17.2020__CN

COLOR SWATCHES:



Pantone
539 C



Pantone
2297 C

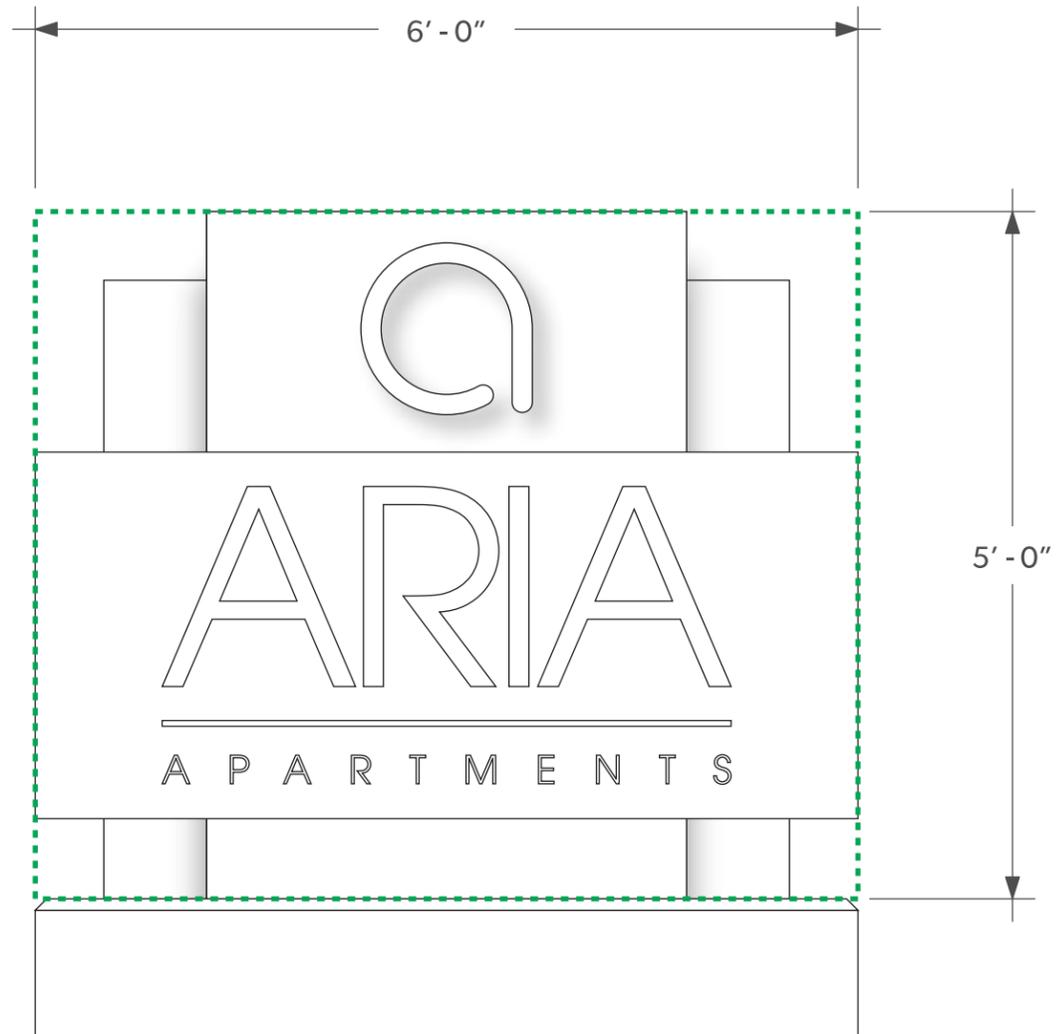
INSTALL / PROJECT NOTES:

XXXXXXXXXX

Customer Approval Signature

Date:

SHEET. 03



Scale: 3/4" = 1ft
(11 X 17 PAPER)

30 Sq/Ft

FILE LOCATION:

Client Folder: Aria - Cityscape
Project Folder: PROOFS
File Name: Monument_Feb_2020V3.ai



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CITYSCAPE RESIDENTIAL ARIA APARTMENTS

Sales Manager: Troy Drews
Designer: Chris

Start Date: 02.17.2020

PROJECT PHASE:

DEVELOPMENT

APPROVED

REVISIONS:

V6 02.17.2020__CN

COLOR SWATCHES:



Pantone
539 C



Pantone
2297 C

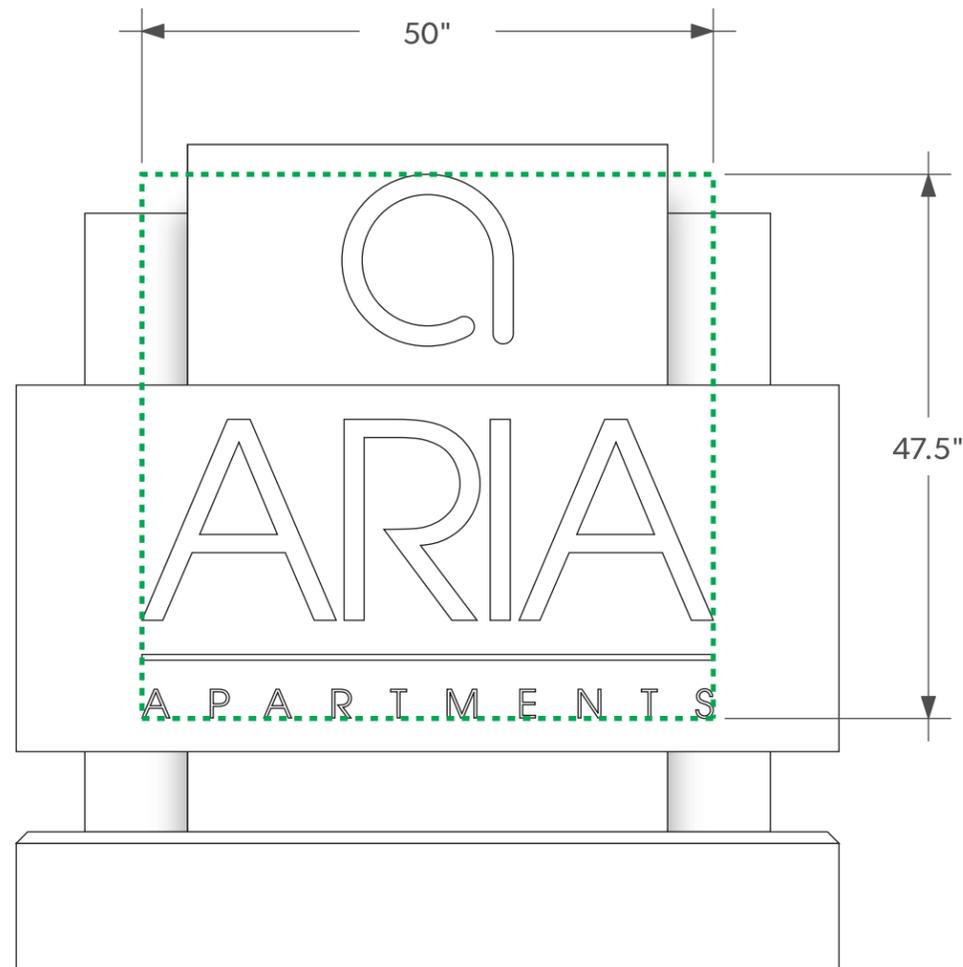
INSTALL / PROJECT NOTES:

XXXXXXXXXX

Customer Approval Signature

Date:

SHEET. 03



Scale: 3/4" = 1ft
(11 X 17 PAPER)

16.49 Sq/Ft

FILE LOCATION:

Client Folder: Aria - Cityscape

Project Folder: PROOFS

File Name: Monument_Feb_2020V3.ai



CITY OF CARMEL

JAMES BRAINARD, MAYOR

LETTER of GRANT

April 28, 2020

Timothy Ochs
Ice Miller LLP
One American Square, Suite 2900
Indianapolis, IN 46282

Re: BZA Docket No. PZ-2020-00032 V: Aria Apartments Ground Sign

Dear Mr. Ochs:

At the *virtual* meeting held on Monday, April 27, 2020 the Carmel Board of Zoning Appeals Hearing Officer took the following action regarding the Development Standards Variance (V) request filed by you for the property located at approximately 10900 N. Michigan Road:

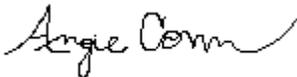
APPROVED: Docket No. PZ-2020-00032 V, Development Standards Variance approval for: Prohibited Signs, Off premise sign granted.

Please be advised that per Article 9.15 of the Unified Development Ordinance, the aforementioned Development Standards Variance approval is valid for three (3) years. By that time, either continuous construction of the improvements must be underway, or a written request for a one-time, six-month extension of the approval must have been received and approval granted by this Department. The expiration date of the approval is April 27, 2023.

Please include a copy of this letter with any permit application.

If I can be of any further assistance, please do not hesitate to contact me at 317-571-2417 or aconn@carmel.in.gov.

Sincerely,



Angie Conn, AICP
Planning & Zoning Administrator
Division of Planning & Zoning

cc: Nathan Chavez, Carmel Sign Permits Administrator
File

Zionsville Plan Commission
June 15, 2020

In attendance: David Franz, Josh Fedor, Jeff Papa, Larry Jones, Mary Grabianowski, George Lewis. Absent is Sharon Walker.

Staff attending: Bob Clutter, attorney, Wayne DeLong, and Janice Stevanovic.

A quorum is present.

Franz All right, well, we've got nine panelists, fifteen attending so far, so I guess we'll get this thing started. I'll call to order the June 15, 2020 Zionsville Plan Commission. No need to stand up, but we'll start with the pledge of allegiance.

All Pledge of Allegiance.

Franz All right. So, Janice, will you please take roll?

Stevanovic Yes. Mr. Franz?

Franz Present.

Stevanovic Mr. Lewis?

Lewis Present.

Stevanovic Mr. Papa?

Papa Present.

Stevanovic Mr. Fedor?

Fedor Present.

Stevanovic Mr. Jones?

Jones Present.

Stevanovic Ms. Grabianowski?

Grabianowski Present.

Stevanovic Ms. Walker?

Franz She informed me she was going to miss the meeting because of an injury she suffered. So, we have six, that's a quorum. Four votes for any matter for it to be passed. All right. So, Larry, did you get a chance to look at the April 20 meeting minutes?

Jones No. I've got to get it done. All right. I'll get them.

Zionsville Plan Commission
June 15, 2020

Franz All right. So, we'll, in the packet you have the May 18, 2020 minutes. Is there any comments, additions, deletions to those minutes? If not, is there a motion to approve?

Grabianowski So moved.

Franz Is there a second?

Fedor Second.

Franz Bob, do we need a roll, or can we do this by?

Clutter No, you can do it by consent.

Franz Okay. All in favor, signify by aye.

All Aye.

Franz Opposed? Okay, motion carries. Those are approved. We have two matters continued from last month. I'm going to go ahead and switch the order a little bit and take the Windhaven one first. So, # 2020-10-Z, Windhaven, 8175 and 8775 West Oak Street, petition for zone map change to rezone 24.283 +/- acres from the rural R1 residential zoning district to the PUD planned unit development zoning district. At this time, we do have a request from the petitioner for a continuance. It's my understanding with the Governor's order, those are pretty much just a matter of fact and just approved. Is that correct, Bob?

Clutter Yes, that is correct.

Franz All right. So, is there any comments or questions before we take a motion on this matter? If not, is there a motion to continue this meeting to the July - -

Stevanovic July 20.

Franz July 20 meeting.

Grabianowski So moved.

Franz Is there a second?

Jones Second.

Franz I guess we'll take a roll on this one.

Clutter Yes, you should.

Franz Janice, please.

Stevanovic Mr. Franz?

Franz Aye.

Zionsville Plan Commission
June 15, 2020

Stevanovic Mr. Lewis?

Lewis Aye.

Stevanovic Mr. Papa?

Papa Aye.

Stevanovic Mr. Fedor?

Fedor Aye.

Stevanovic Mr. Jones?

Jones Aye.

Stevanovic Ms. Grabianowski?

Grabianowski Aye.

Franz All right. Motion carries 6-0, so that's continued to the July 20 meeting. Next item on the Docket is # 2020-08-Z, a petition for zone map change to rezone 76 +/- acres from the rural AG agricultural zoning district to the rural I1 industry zoning district. Before we start on this one, well, is the petitioner's representation present? I guess I'll ask this question of him. Did you notify people with first class mail, or was it registered mail? Was it first class?

Price Mr. President, we did registered mail. We did the normal standard notification. So, no waiver required.

Franz All right. Thanks. So, with that I'll go ahead and start, Matt.

Price Thank you, Mr. President, members of the Commission. For the record, my name is Matt Price. I'm with the Dentons law firm with an address of 10 West Market Street in Indianapolis. I'm here this evening on behalf of Prologis. I've got our development team with me available on the Zoom meeting this evening, which I'd like to introduce their names, and then I'm going to attempt to share my screen here because I've got a PowerPoint that I'd like to talk through. From Prologis, I have Amy Zepka and Mike Carrico, and then on our civil engineering team, we have Greg Dempsey and Jerry Kittle, who are familiar folks to you from some other matters in recent months and years. Let me attempt to share my screen real quick. Can everybody see that okay?

Grabianowski No. Still looking at your pretty face, Matt.

Price Is that right? I apologize for that. Let's see here. I did this the other day with great aplomb. How's that?

Grabianowski Much better.

Price Very good. Well, thank you for your patience. As I mentioned here - -

? 22:48 -Inaudible-

Price Oh, I'm sorry. Here tonight on Prologis, I thought I'd mention just a little bit about. The company has been around for a number of years, founded in 1983, as really the leader in industrial properties around the country. Very experienced, well-funded. One of the leaders of the S&P. And, one of the things that you're seeing here in Zionsville, we'll all see, and Prologis is definitely seeing around the country, is that the pandemic has been kind of a re-tooling is the phrase used sometimes here of the supply chain. And, it's been the result of at least two driving forces. One being retailers looking at heightening their inventory levels in order to meet fluctuating customer demand. In particular upticks in customer demand. And, secondly, this whole pandemic has really accelerated the acceptance of e-commerce and direct-to-consumer shopping and delivery. Something that was already with us, and certainly this was a robust segment of the economy, but recent events have made it even more so, and are driving demand, particularly for properties that are particularly well-suited for this type of use. We're here this evening because we believe that this particular parcel is one of the sites very well-positioned for this type of use. I want to orient you, although I know you all are very familiar with the area. But, outlined in yellow is the approximately 76-acre parcel. You may recall immediately east is what I'll refer to as the Becknell project, approved, I believe, in the fall/winter of 2018. The property to the north that's labeled I1 is the Exeter project, actually in Whitestown's jurisdiction, but is an industrial use to the north. To the west and to the south across County Road 550, parcels that are owned by our seller, the Everett family. Those are additional properties that they own. And, then the property has kind of a cutout in the southeast corner that is a unique couple of parcels. One parcel, the western one has a home on it. The one to the east also has a dwelling use that's also combined with another property that appears to have a significant commercial component to it. The property has a very large parking area around its perimeter and observation over the last several months, there is a semi parked in front of the building that actually looks to be loading and unloading into the storage building that's located on that property. So, it's very well-positioned around and among existing industrial properties. I should also point out that one of the things that is driving development in this area for this type of use is its proximity to the existing 267 interchange, which is the interchange that you can see at the very northern part of the aerial. And, then also the future I-65 interchange, the mid-point interchange, if you will, which is at the eastern extent of County Road 550 East to the east that you can see is labeled as future I-65 interchange. The building layout that we've proposed in the conceptual plan consists of two buildings, just over 550,000 square feet each. To orient you, because I want to make sure we're all looking at this drawing the right way, the arrow pointing north is to the right. So, the Exeter common area for the Exeter project is to your right at that direction. You'll see that we have a detention facility at that end of the property. Greg Dempsey and Jerry Kittle with Innovative were also the civil engineers on the project immediately east that are well-connected, well-familiarized with the drainage needs for this property, and so they have laid out the project based on their knowledge of the hydraulics for this property. It's also, there will also be a detention facility in the far southwest corner of the facility, as well. One design characteristic I wanted to point out is

these buildings have kind of H-shape, and that's because there are recessed loading docks being utilized, and that's what you see on the north and south of each of the buildings. And, this is a colorized version of that same drawing, and just to try to add some confusion to our PowerPoint, I apologize, the north is now to your left, so you'll see up in the northeast corner is part of that detention facility that I spoke of earlier, and then that same detention facility that's on our southwest corner is to the far right of the drawing. I also wanted to point out that we have included what we call the buffer yard age. A 20-foot buffer yard with the plantings specified in Zionsville's zoning ordinance for an age buffer yard, which is what's required when adjacent to an agriculturally-zoned property, and so the perimeter along our western boundary, which is the boundary at the bottom of the drawing, as well as in the northeast and southwest portions of the drawing will have that enhanced buffering around the project. The property to the east is, of course, shares the exact zoning, and it has a buffer yard, but of a lesser extent for like zoning classification. Also proposing several commitments relative to the limitation of the height of light poles. Downward lighting required on the buildings in accordance with Zionsville's lighting ordinance. As I mentioned, we are also providing for the buffer yard types, as I mentioned, for the adjoining industrial property, as well as the buffer yard-type age for the portions of the property that's zoned agriculturally-zoned properties. Our practice has been to specify the trees based on the ordinance requirements which also permits a selection from a variety of species in order to arrive at a visual area between adjoining properties. We also wanted to point out that we have had extensive discussions with staff concerning various aspects of the layout concerning relative to parking, access drives, and buffering, and the plan that's being presented to you is a concept plan, realizing that when we come back through our development plan, there may need to be some finalization of the exact location of these various attributes, including the access drives. We believe, and I think it makes sense that the access drives that we're proposing will line up exactly with the Becknell project across the street. And, so, we don't think there will be any changes there, but we also understand that the Town will want to have additional input as we work through the final design characteristics for the project. And, then lastly, we have, as we've done on some other recent proposals, we've agreed to screen any outside dumpster locations, also in accordance with Zionsville's zoning requirements. I'd like to close just by mentioning that we certainly agree with the staff report. We feel like it's a very clear and concise analysis of the prevailing land-use pattern in the area, and believe it makes a compelling case for why this rezoning makes sense, and my development team and myself are available to answer any questions that you have, and we'd respectfully request your favorable recommendation. Thank you.

Franz All right. Thank you. At this time, are there any attendees in the audience who would like to make a comment on this matter. If so, I guess you raise your hand on your button and Wayne will, I believe Wayne's managing it. If there are, he'll let you speak. Matt, could you take down, stop sharing that?

Price I will. Yes, sir.

Franz Thanks. Janice, you're on mute.

Grabianowski Matt, it's still up.

- Price Did it change?
- Grabianowski No.
- Price Oh, I'm sorry.
- Stevanovic There we are. I was trying to let you know that no hands have been raised at this time.
- Franz Okay. All right. So, Janice, at this time, could we have the staff report please?
- Stevanovic Certainly. Well, the parcel in question is within the Town's corporate limits, and is subject to the comprehensive land-use plan. Understanding how the parcel fits into the developing land pattern, it's critical to the review of the request. We've looked at the Town of Zionsville. We've looked at the Whitestown comprehensive plan, and have understood that the intensification of the industrial development in the immediate area is evidenced in the Becknell approval, HUD phase 1 and HUD phase 2. Lends itself to allowance of the rezoning. Because of these factors, a deviation from the comprehensive plan to facilitate a rezone to light industrial is supportive in the opinion of staff, and we recommend a favorable recommendation to the Town Council.
- Franz All right. Thank you, Janice. At this time, I'll open it up to any questions from any of the members of the Plan Commission.
- Lewis So, I've got a couple questions. First of all, I notice in the packet that there is a couple of references to the Prologis PUD, but it looks like in the information we're being presented this is a rezone from ag to light industrial. Was it at some point envisioned to be a PUD, but that's not the case anymore?
- Price Thank you, Mr. Lewis. That is an excellent question. No, at some point, I believe, some of the staff comments refer to it as a PUD, and I think that was just a leftover in the memo format. It was never proposed to be a PUD. It's always been just a straight rezone. Thank you for mentioning that.
- Lewis Okay. And, then the next question I have is I remember when the Becknell property came up, there were several other property owners to the south of 550 who were concerned both about the drainage in the area and also traffic along 550. I know one drawing seems to show 550 being improved in the longer term, but I don't know that that road really supports truck traffic at this point. I think the Becknell property, if I recall, restricted traffic going down 550. Now this one, I guess, is on the other side of the road, but I don't know at what extent those two items have been fully explored. Has this been to the Boone County drainage yet, and what do they think about it?
- Price It has received initial comments from Boone County relative to drainage and relative to the highway department. I would say this that we feel like we're starting with a leg up on this project as compared to Becknell because the hydrology of the site in this vicinity is so well-known now. The Becknell project, even post-zoning approval went through about another year of engineering to

accomplish a satisfactory drainage plan, and with Innovative's help, we're really building upon that head start, and so we feel like we've got a solid foot for the future drainage plan that will be put in place relative to the development itself. With regard to the use of County Road 550, we discussed, that road is actually under the jurisdiction of Whitestown, and we have discussed those concerns relative to whether the road is really suitable for truck traffic, and your memory is very good in that the Becknell project actually contained a commitment that until that road was improved, it would not be available, the access off of County Road 550 would not be to truck traffic but to passenger vehicle traffic only.

Jones Didn't the Becknell project have the ability to feed itself through its own project?

Price Through its own 38:36? Is that, sorry Mr. Jones?

Jones Yes. I thought they had the ability to actually access those properties from their other development to the east of that.

Price They may have. They do have a full access, actually off of 267, as well. I believe the northern and the central one are both full access points. We're proposing a central access point off of 267, and then a northern access point that would be right in, right out.

Stevanovic Mr. President, if I can jump in here. Wayne is thinking that he might be able to speak.

Franz Okay.

Stevanovic Are you there, Wayne? No? I apologize. We had hoped.

Jones I guess the biggest concern I have about this is just trying to figure out where is the demand coming from? Because I took a drive out there an hour ago, and, Matt, I can almost guarantee I know what the answer is, but do you have any idea how many available square feet of unused vacant buildings that are already erected is out there?

Price I don't. I do not know how much vacant square feet there is. I do know, though, that the area is actively approached for RFP responses, and the industry is itself, and I mean this more broadly as far as what is being written right now. The industry itself is forecasting significant increased in demand, and what I think what the general feeling is is that the industry was healthy before, but I think in light of recent events with the pandemic that it's laid bare some of the weaknesses of a just-in-time supply chain. And, so there is a sense that they're going to need to have more facilities to allow greater inventory holdings by those who deal directly with consumers, and many of those retail offer, retail businesses - -

Jones --Isn't the pandemic pointing out that we've got our people performing work too close to each other by, you know, when you start to have these warehouses with the 50 and 60-foot ceiling heights, all that density of material that was vertical eventually shows up on the horizontal, and that's where they're having the issues. I don't know, I don't quite agree with that. What I do know is, I was just amazed

going out Albert S. White drive that the number of buildings on the north side of that road that are just, they're new and they don't look like they've been touched as well as some of the project, you know, up and down 267. The Whitestown business center. I mean, I don't quite, you know, I guess I wasn't particularly supportive of the projects that went to the north of the Whitestown development that wrapped around that neighborhood, and we seem to be pushing further west and further south when, one, I don't see the need. Two, I can drive around and find another, hundreds of other acres closer to the proposed intersections. Especially the new one that Whitestown is talking about doing, as well as I guess they're going to upgrade the one there at Albert S. White and 267, as well. Once again, I don't see a need. I see a want. I don't see a need. And, what we're running up against is there was a whole group of people that petitioned to join the Town of Zionsville just to prevent this from happening. I mean, isn't that just behind the push for Perry Worth to sort of join in with Zionsville.

Price Well, I don't know that we speak on behalf of the citizens of Perry Worth. I think a great number of folks in Zionsville understood that the consolidation would also be an opportunity to further diversify our tax base, and I could have, I have Mike Carrico with me this evening who can talk about some of the absorption rates that are very significant and the industry is calling for more demand for these type of facilities.

Jones I'd actually be interested in hearing what the - -

Price --supply of goods.

Jones I mean, how often do businesses that come into these begin to ask for some sort of abatement one way or the other? Even after the building is done?

Price Well, the individual users sometimes ask for abatement. The users that move in. To be competitive, all of these projects ask for abatement for the buildings themselves. To give you an idea of scale - -

Jones --Once again, explain it to me.

Price What's that?

Jones You're telling me what the, you're explaining what, how do you want to say this? You're telling me when they start asking for abatement that there is no real benefit to the Town, although you said earlier, we were trying to expand our tax base. So, which side of the point are we on?

Price What I'm explaining is the realities of needing to compete in this space, but as a practical matter, this is a huge point, and it's why there has been such solid support from an economic development standpoint in the community. This is a \$50 million project. So, you're talking about almost 2 ½ times the total AV of both side of Main Street in one building. It's 3 times the AV of Lids. Even on an abated basis, it's still a massive opportunity to increase and diversify our tax base, and when you couple Becknell, Van Trust, Prologis together it's a very significant opportunity to increase our tax base, even with an abatement in ways that are otherwise basically not available to the Town. And to do so in a way that

where there are comparatively low demands for service. It's an area that's already equipped with utilities and road infrastructure that is already planned and ready to develop 45:28. So, it's a real opportunity to build on that existing platform. And, the staff report indicates that.

Fedor Matt, where is the, I know Ronald Reagan is going to come up with this general area somewhere near the 45:53 Becknell property, as well. Do they know where this is coming through? And, how close is it to this property?

Price Yes. So, it is essentially through this section of 267, and we're being asked and are agreeing to dedicate the right-of-way necessary for that expansion, for the expansion of the right-of-way.

Fedor So, little pink lines I see on this one map here that says 'proposed road improvements going over to the new intersection', that's not Ronald Reagan?

Price Well, that's, and I wanted to caution you on looking at, that's the PowerPoint I think that we pre-filed. The drawing is a little off because if you look in the upper right-hand corner of that drawing, there is a disconnect in the highway between the 267 interchange and the 65 interchange. So, that should line up with County Road 500, is that that's really showing. County Road 500 over to the new mid-point interchange. I hope that's clear. But those new, those pink lines do show the improvements connecting to the new mid-point, which would then connect to 267.

Fedor So the north/south pink line there, which again, assuming what you're calling the mid-point road. Is that?

Price The mid-point is the new interchange between the 334 interchange and the 267 interchange.

Fedor All right. All right. So, now we're 550 South interchange.

Price Correct.

Fedor Thank you.

Jones How much additional setback was provided along 267?

Price If I could ask our civil engineer, Greg, to talk about the additional right-of-way dedication. If he could be recognized.

Franz Wayne, can you activate him?

Dempsey Sorry. Can you guys hear me now?

Franz Yes.

Dempsey Okay. Along 267 the required additional dedication, or actually the required total dedication on our half is 115 feet, which is the same as what it was on the other side for Becknell.

- Jones So, is that the line we see up next to the parking lot?
- Dempsey Yes. It would be fairly close to the parking lot on the east side there. There is a little bit of a grass area there.
- Fedor Now, is this going to be a similar project to the, I apologize for keep referring to the 49:30 Becknell project, but that started out with one set of buildings, and then became another set of buildings, and so forth. Is that the intent? Or is that open this situation as well, or is that going to be the last ones in this, they're really focusing on 49:53.
- Price I apologize, Mr. Fedor. I was having trouble making out your question a little bit. Just breaking up a little bit. I apologize.
- Fedor Is there going to be more, is this going to be phase 1 of Prologis, or is there going to be another one in 6 months coming up to us that backs up to this and more road traffic coming through this project, much like the Becknell project across the street?
- Price There is a possibility for future expansion west, but right now, this is the only property that Prologis has under contract with the Everett family, and it would really be up to the Everett family if they decided they wanted to sell any additional property. And, I think to the earlier point made too, for that to be done, I think there would also need to be very substantial improvements further west along County Road 500 for that to be possible.
- Jones We've got the same situation. The access road is being set up to go clear through the property from east to west.
- Price It certainly has that possibility.
- Jones Well, it's on the drawings.
- Price Exactly. Yes. We didn't want to foreclose that possibility from occurring, but there is not a current plan in place to do that.
- Lewis On the Becknell property, the other thing that I seem to recall is that the property to the north was concerned about the project, and I believe, the buffer, in addition to buffer yards there was mounding that was put in place to help screen those properties from the buildings. I mean, here there is a residence that's right next to the south end, right next to that detention area. I don't know if you guys have had discussions with them or not. And, then also to the north, I can't really read. There is a green area shown, but I don't know, I can't really read what it says.
- Price Yes. That is what we're referring to as the buffer yard meeting the H classification, which is the classification under the ordinance when adjoining an agriculturally-zoned property. That property was recently sold in April of this year, and is owned by, as best we can tell, an absentee land-owner that we've not been able to reach. We do know from the hydraulics of the site that the, that the ponding, the pond up there, is meant to both serve the drainage function and

provide additional buffering. It's the width of the pond at that location is a little over 100 feet, 114 feet give or take. We think that provides some additional buffering between the actual use and that property to the north. The dwelling is actually further north on that property. There is an open kind of fenced-in area with various outbuildings and fencing and trees etc., before you actually get to the dwelling. It's unclear whether that dwelling is occupied any more.

Lewis What about the one to the south?

Price The one to the south, it has that same, so in the southeast corner there is really two parcels that are owned by a person from, as best we can tell, from California. I've had discussions with that property owner, and again, we have the buffer yard H around the back of that property. To give you an idea from the distance from the building to the home site that is located there, it's a little over 400 feet from the recessed part of that building to the home itself, and the property then on the very southeast corner is a mixture. It has a residential component, but also a significant commercial structure. Again, it's surrounded by parking apron and appears to have some transport or related business function, just based on the fact that there is a semi that's backed up, and looks to be open to that building. We understand just a little more detail about the use of that building that it's an absentee land owner from California that sometimes comes into town during the race season and uses that as a place to temporarily locate.

Jones Is the guy's name Malloy?

Price Yes. Care to share more about that?

Jones Interesting, he hasn't had more to say about this. Have you been, has he received notice?

Price He has.

Franz So, anything else. Any other questions/comments?

Papa Matt. Is the county highway required to make any improvements to 550?

Price They are, yes.

Papa What are those?

Price So, if I could, Greg can expand upon this, but there are significant road improvements being requested by the, I think I may have misspoke earlier. With the county, they are county requirements. Greg, could you speak to those specific improvements?

Dempsey Yes. We had a meeting with Craig Parks up there, the County Highway Engineer, and what the county is going to require is a complete rebuild of 550 from 267 to the western property line of the Prologis site. We'll have to widen it. Obviously do an appropriate pavement cross-section to support the amount of truck traffic that will be there, and they're also requiring us to put a dedicated left-turn lane at the 550/267 interchange, or intersection there, as well as on the ground controlled by

Prologis, we'll have to dedicate additional right-of-way for future improvements by the county to 550 if they decide to improve it further to the west.

Price So there is both requirements on Prologis itself, plus the dedication of additional right-of-way should they decide to make future improvements, as well.

Franz Is there anything else? If there isn't, is there a motion on this one?

DeLong Dave, I can jump in here if you can hear me.

Franz Yes. Wayne, we can hear you.

DeLong Very good. It's been a bit of a challenge. Certainly, I appreciate Janice providing the summary of the staff report and the great questions that have been asked of the petitioner, and certainly Larry's focus on the tax abatement conversation. Certainly, every project that you've seen as a Plan Commission, be it Hub or the Becknell projects, those projects have sought tax abatements. Certainly, the Town has supported those. The petitioner has indicated eloquently that, you know, these projects even with the abatements do generate a significant amount of tax for the community. Just, that's definitely a truth, but more providing some additional information here, as well as double-checking my audio and see that it works.

Franz Okay. Thank you. Is there, with no further discussion, would somebody like to make a motion?

Fedor I move that Docket # 2020-08-Z, zoning map change, to rezone an approximately 76 acres from rural agricultural zoning district to rural industrial zoning district receive a favorable recommendation based on findings in the staff report.

Franz Is there a second?

Papa Second.

Franz All right. We have a motion with a second. Wayne, are you going to run the roll call, or should Janice?

Grabianowski Wayne is muted.

DeLong I would be happy to facilitate the roll call.

Franz Okay.

DeLong Mr. Fedor?

Fedor Aye.

DeLong Mr. Jones?

Jones Aye.

DeLong Ms. Grabianowski?

Grabianowski Aye.

DeLong Mr. Papa?

Papa Aye.

DeLong Mr. Franz?

Franz Aye.

DeLong Mr. Lewis?

Lewis Aye.

Franz All right. Motion carries 6-0. I guess we'll see you next at the development plan.

Price Yes, Mr. President. Thank you for your time this evening.

Franz Thank you, Mr. Price. Matt, are you staying on? Okay. He dropped off. I was just wondering if he was going to stay on. I guess one of the things I forgot to do, I've forgot to do this every time we've had these virtual meetings, is ask if there is anybody in the audience who wanted to be recognized and have their name recorded that they were in attendance. If that's the case, could they please raise their hand and Wayne can acknowledge them.

DeLong Happy to do so. I see Mr. Andreoli has raised his hand. Joe Gregoline has raised his hand. Pausing for a second here to see if any other hands are raised. I don't see any more than the two that I had mentioned. So, you have those now noted for the record.

Franz All right. Thank you. I would assume Mr. Andreoli would be here, because he's up on the next item. So, moving on to new business, let me get back to the agenda, Docket # 2020-17-MP, North minor plat, address of 8653 East 125 South, petition for minor plat approval for the establishment of two lots with a waiver request from Section 193.056B4 water facilities of the subdivision control ordinance in the R2 rural residential zoning district. Is the petitioner present? He is on. So, Mr. Andreoli, I'll hand it over to you.

Andreoli Thank you, Mr. President. For the record, my name is Mike Andreoli, 1393 West Oak Street in Zionsville. I represent Mike and Charlie North. They are seeking a minor plat for a lot that they own in an older platted development that was platted through the County. We thought that the easiest, most simplest way we could handle this, their lot currently consists of Lot 1 out of 4 in the existing 1:02:55 minor plat, and they are simply wanting to divide that. They are going to be selling their substantial single-family residence there and try to downsize to a property adjacent to this as a builder, and would like to move into that property and then sell his home to another buyer. As I say, the property there to go ahead and do a minor plat with it. One of the initial impediments was that there were obstructions on a number of lots in the Keeler plat

covenants 1:03:29. We've now got a unanimous consent to go ahead and amend those covenants and give them amended as part of your packet to allow an additional lot. So, essentially, the easiest, most expeditious way to do this was to simply do a minor plat for the one lot that was remaining and that minor plat would be divided into two lots, and would now become the north minor plat. All of the soil borings have previously been done. They will have a separate well. There is no essential utilities out there other than electric utilities, but there is no sewer and water to the site, so they'll have a separate septic, separate well. The hydraulics out there are quite good. There's never been a problem with any of the water in that particular location. The property is located at 8653 East County Road 125 South, which is out close to Wolf Run. There is utility lines running down the one side, and there is a common lane that serves for properties as it currently exists, and essentially the North's have access off of 125 South. There will be an additional access that will be created through the lane that will be established, so we don't think that there is any problems with county highway. No problems with the septic well situation out there, and all four residents in the prior minor Keeler plat were on board with this particular change. So, it's simply just establishing a minor plat of Lot 1, which was original lot in the Keeler minor plat and do the North minor plat subdivision. Be happy to answer any questions. I think staff report is pretty detailed and covers it quite well.

Fedor Mike, did you say that the couple who are doing this are intending on building a home on these, or one of these two lots?

Andreoli Yes. That's a good question. What's happening is Mr. North is a residential home builder and has the current home on the easternmost portion of what was the original Lot 1 of the Keeler minor plat. That lot is being subdivided, assuming your approval, that will divide it essentially in half, and that lot will remain and then the North's will build another home on Lot 2, which would be the second lot in the North minor plat, if approved.

Fedor Thank you. Okay, to be clear, this road is still gravel. Is that correct? The county road?

Andreoli No. I think the road, no it is still gravel. You're correct. It is still gravel, 125 coming from the road that goes up to Wolf Run is a gravel road, so it will remain as such. And, I might add, we checked with the County. There is really no plans to actually put hard surface on that, the road, that we know of in the immediate future.

Fedor I do know that they paved up to about a mile down the road to the west of this property. I just didn't know if they have any continuing on down 125 or not.

Andreoli I don't know.

Lewis You're muted, Dave.

Franz Okay. My fault. Sorry about that. All right. So, Wayne, can we have staff report, please?

- DeLong Certainly. Staff is supportive of the petition as it's been filed. The petition contains two different parts. First is the waiver of the subdivision control ordinance, specific to the well capacity. You may recall this specific item from various previous petitions. The well capacity can be at times a challenge to achieve, and certainly that item would need to be discussed and voted upon. The division of the parcel as requested certainly complies with the zoning ordinance, and certainly with the action taken by Mr. Andreoli and his client to amend the plat's private covenant. Certainly, there is no other restrictions that the Town has run across that would prohibit such a division. Again, staff is supportive of the petition as it's been filed subject to the approval of the requested waiver, and I'd be happy to answer any questions.
- Franz All right. Thank you, Wayne. With that, is any members of the Commission have any questions regarding this matter? If there are none, is there a motion?
- Clutter Just to be safe, was there a request, or has anybody held up their hand to see if any members of the public would like to speak?
- Franz Yes. I did. Well, I might have been on mute.
- Clutter I think you were muted at the time.
- Franz Good point. And, also, Mr. Andreoli, did you notify with registered mail, or were you first class?
- Andreoli No. We did first class, but the people that were most immediately affected, of course, were the people in the existing Keeler minor plat subdivision, and those people were contacted obviously directly, because they had to sign the amended covenants that would allow this additional lot. So, the people that were most affected were the ones that were talked to actually in person and had to sign the actual amended declarations.
- Franz All right. But I think we'll still need to have a motion of the waiver. Is that correct, Bob?
- Andreoli Yes. We do need a motion of the waiver, and I did not request that, but understood that you would want that, and that we would certainly request that you do that.
- Franz All right. So, at this point, is there a motion to waive the requirement of registered mail in lieu of first-class mail?
- Papa So moved.
- Franz Is there a second?
- Grabianowski Second.
- Franz By acclamation, all in favor say aye.
- All Aye.

- Franz Opposed? Motion carries. Was there any comments from the public on this matter, then?
- DeLong Mr. President, I do not see any hands raised.
- Franz Okay. All right. Thank you, Wayne. All right, so with that, we've had the questions. Is there a motion on this matter?
- Papa I'll make a motion. I move to approve that Docket # 2020-17-MP minor plat waiver to utilize wells which do not comply with the standard found in Section 193.056.B in subdivision control ordinance be approved based on the findings in the staff report as presented.
- Franz Is there a second?
- Grabianowski Second.
- Franz Wayne, would you please take roll?
- DeLong Certainly. Mr. Jones?
- Jones Aye.
- DeLong Ms. Grabianowski?
- Grabianowski Aye.
- DeLong Mr. Papa?
- Papa Aye.
- DeLong Mr. Franz?
- Franz Aye.
- DeLong Mr. Lewis?
- Lewis Aye.
- DeLong Mr. Fedor?
- Fedor Aye.
- Franz All right. Motion carries.
- Andreoli Thank you to the Plan Commission. Thank you.
- Franz All right. Thank you, Mike. With that, we conclude our business. Is there any other matters to be discussed? Wayne, is there any indication, I mean, are we

assuming that the virtual meetings will continue into July? Has there been any kind of indication from anybody on that?

DeLong I would say at this point there is no information. Certainly, the state, I would believe, intends to be at Phase 5 of that. The Town Hall is intending to open in July. I would say all these factors are leading towards an in-person meeting, though how an in-person meeting would be handled with social distancing and other requirements, both for the bodies such as the Plan Commission and the attendees and staff will be very different.

Franz Okay. I'm just thinking if Windhaven does move forward next month, the attendance potential issues with that. So, I guess we'll have to try to figure that out once we find out what the direction will be from the Town on meetings. So, is there anything else from anybody else? If not, is there a motion to adjourn?

Grabianowski I move we adjourn.

Franz Is there a second?

Jones Second.

Franz All in favor, aye.

All Aye.

Franz All right. Good night everybody.

All Good night.

DeLong Thank you, everybody.

All Thank you.